



**Board of County Commissioners**

**Eva J. Henry - District #1**  
**Charles "Chaz" Tedesco - District #2**  
**Erik Hansen - District #3**  
**Steve O'Doriso - District #4**  
**Jan Pawlowski - District #5**

**PUBLIC HEARING AGENDA**

NOTICE TO READERS: The Board of County Commissioners' meeting packets are prepared several days prior to the meeting. This information is reviewed and studied by the Board members to gain a basic understanding, thus eliminating lengthy discussions. Timely action and short discussion on agenda items does not reflect a lack of thought or analysis on the Board's part. An informational packet is available for public inspection in the Board's Office one day prior to the meeting.

**THIS AGENDA IS SUBJECT TO CHANGE**

**Tuesday**  
**November 1, 2016**  
**5:30 PM**

**1. ROLL CALL**

**2. PLEDGE OF ALLEGIANCE**

**3. MOTION TO APPROVE AGENDA**

**4. AWARDS AND PRESENTATIONS**

- A.** Recognition of Adams County Participation in the National Flood Insurance Program
- B.** APA Colorado 2016 Honor Award
- C.** Proclamation of November as National Adoption Month
- D.** Proclamation of November 19, 2016 as National Adoption Day

**5. PUBLIC COMMENT**

**A. Citizen Communication**

**A total of 30 minutes is allocated at this time for public comment and each speaker will be limited to 3 minutes. If there are additional requests from the public to address the Board, time will be allocated at the end of the meeting to complete public comment. The chair requests that there be no public comment on issues for which a prior public hearing has been held before this Board.**

**B. Elected Officials' Communication**

**6. CONSENT CALENDAR**

- A.** List of Expenditures Under the Dates of October 17-21, 2016
- B.** Minutes of the Commissioners' Proceedings from October 25, 2016

- C. Resolution Appointing Captain Gene Claps as a Member to the Community Corrections Board
- D. Resolution Appointing Jennifer Morgen as a Member to the Community Corrections Board
- E. Resolution Approving Changes to the Adams County Workforce Development Bylaws to Better Align with the Workforce Innovation and Opportunity Act of 2014
- F. Resolution Approving Land Lease Agreement between Adams County and CEC Solar #1130, LLC
- G. Resolution Approving a Great Outdoors Colorado Trust Fund (GOCO) Planning Grant Application for a Natural Play Area at the 88th Avenue Open Space
- H. Resolution Continuing Land Use Case #PRC2016-00004 Pomponio Terrace Filing 1 and 2

**7. NEW BUSINESS**

**A. COUNTY MANAGER**

- 1. Resolution Approving an Agreement between Adams County and the Colorado Boys Ranch Foundation dba Colorado Boys Ranch Youth Connect, for Home-Based Intervention Services, for the Human Services Department, Children and Family Services Division
- 2. Resolution Approving an Agreement between Adams County and Maple Star Colorado, for Home-Based Intervention and Mental Health Services, for the Human Services Department, Children and Family Services Division
- 3. Resolution Approving an Agreement between Adams County and Savio for Home-Based Intervention, Life Skills, Intensive Family Therapy, Sexual Abuse and Substance Abuse Counseling Services, for the Human Services Department, Children and Family Services Division
- 4. Resolution Approving an Agreement between Adams County and the Life Support Behavioral Institute for Substance Abuse Counseling Services, for the Human Services Department, Children and Family Services Division
- 5. Resolution Approving an Agreement between Adams County and Shiloh Home, Inc., for Home-Based Intervention Services, Mental Health, Life Skills and Sexual Abuse Counseling Services for the Human Services Department, Children and Family Services Division

**B. COUNTY ATTORNEY**

**8. ADJOURNMENT**

**AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE**

**County of Adams**  
**Net Warrant by Fund Summary**

<b>Fund Number</b>	<b>Fund Description</b>	<b>Amount</b>
1	General Fund	606,371.23
6	Equipment Service Fund	91,322.33
7	Stormwater Utility Fund	2,028.77
13	Road & Bridge Fund	275,660.22
19	Insurance Fund	201,067.00
24	Conservation Trust Fund	3,038.00
25	Waste Management Fund	40,081.67
27	Open Space Projects Fund	20.00
28	Open Space Sales Tax Fund	89.10
30	Community Dev Block Grant Fund	34,973.49
31	Head Start Fund	18,476.08
35	Workforce & Business Center	1,788.34
43	Front Range Airport	54,346.10
44	Water and Wastewater Fund	43.50
		<u>1,329,305.83</u>

## Net Warrants by Fund Detail

1      General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00700427	13593	KAISER PERMANENTE	10/17/16	8,250.00
00700428	13593	KAISER PERMANENTE	10/17/16	104.40
00700430	98414	ROCKY MTN HEALTH PLAN	10/17/16	850.00
00700432	46792	SECURE HORIZONS	10/17/16	1,500.00
00700434	240959	UNITED HEALTHCARE	10/17/16	5,850.00
00700442	4736	ADAMS COUNTY COMMUNICATION	10/17/16	6,753.25
00700443	30273	ADAMS COUNTY DETENTION FACILIT	10/17/16	141.37
00700444	630412	ADVANCED LAUNDRY SYSTEMS	10/17/16	308.75
00700445	537211	ANDERSON BILLY & SUSAN	10/17/16	152.00
00700446	320525	ARIAS REBECCA M	10/17/16	1,400.00
00700447	124761	AUTOMATIC-ACCESS INC	10/17/16	173.75
00700448	40942	BI- BEHAVIORAL INTERVENTIONS	10/17/16	4,346.59
00700449	422450	BRYANT ERIK	10/17/16	51.30
00700450	378404	CARUSO JAMES LOUIS	10/17/16	3,075.00
00700451	537548	CITY WIDE SEAMLESS GUTTERS	10/17/16	440.00
00700453	485820	CORRECTEK INC	10/17/16	925.00
00700454	40658	CROWN EQUIPMENT CORP	10/17/16	98.00
00700455	536536	D'ALBEY BARB	10/17/16	300.00
00700456	538397	DAMON BRETT M	10/17/16	19.00
00700458	13891	DSD CIVIL DENVER COUNTY SHERIF	10/17/16	37.20
00700459	13891	DSD CIVIL DENVER COUNTY SHERIF	10/17/16	48.20
00700460	538400	DULANTO ERIKA	10/17/16	19.00
00700461	24524	E470 PUBLIC HIGHWAY AUTHORITY	10/17/16	96.60
00700462	538401	FORD VIVA	10/17/16	4.00
00700463	378405	FRANK MEREDITH ANN	10/17/16	1,025.00
00700464	537545	FRONT RANGE TIRE RECYCLE	10/17/16	257.52
00700465	323337	HIGH PLAINS REPORTING & TRANSC	10/17/16	48.00
00700466	74734	ISC INC	10/17/16	2,186.88
00700468	62528	JEFFERSON COUNTY SHERIFF'S CIV	10/17/16	42.00
00700469	538404	KANE MICHAEL T	10/17/16	19.00
00700470	485045	KORBY LANDSCAPE LLC	10/17/16	5,373.98
00700471	40843	LANGUAGE LINE SERVICES	10/17/16	9.02
00700472	294522	LOYD HODGE AND SONS INC	10/17/16	66.00
00700473	535932	LUJAN JULIE	10/17/16	51.30
00700474	381372	MACHOL & JOHANNES, LLC	10/17/16	19.00
00700476	378779	NEISES JOSILYN T	10/17/16	71.50



## Net Warrants by Fund Detail

1      General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00700477	603778	NORCHEM DRUG TESTING LABORATOR	10/17/16	26.43
00700478	12691	PEARL COUNSELING ASSOCIATES	10/17/16	9,342.23
00700480	50300	RAMIREZ GABRIELLA	10/17/16	347.00
00700481	538405	SANCHEZ ELIJAH	10/17/16	19.00
00700482	451943	SECURITY & SAF OF COLORADO INC	10/17/16	5,700.00
00700483	506541	SOLAR CITY CORPORATION	10/17/16	125.60
00700484	8803293	SPOK INC	10/17/16	1,777.23
00700485	71946	SPRINGMAN, BRADEN, WILSON & PO	10/17/16	66.00
00700486	13949	STRASBURG SANITATION	10/17/16	1,589.55
00700487	293662	SUMMIT LABORATORIES INC	10/17/16	410.00
00700488	37327	THORNTON CITY OF	10/17/16	19,384.00
00700489	37999	ULTRAMAX	10/17/16	1,460.00
00700490	117701	UNIPATH	10/17/16	1,043.00
00700491	1007	UNITED POWER (UNION REA)	10/17/16	94.12
00700492	1007	UNITED POWER (UNION REA)	10/17/16	2,721.57
00700493	1007	UNITED POWER (UNION REA)	10/17/16	5,363.53
00700494	1007	UNITED POWER (UNION REA)	10/17/16	1,502.40
00700495	1007	UNITED POWER (UNION REA)	10/17/16	5,007.06
00700496	227333	VARGO & JANSON, P.C.	10/17/16	19.00
00700497	738429	VCA THORNTON ANIMAL HOSPITAL	10/17/16	105.25
00700499	35877	WEATHERSURE	10/17/16	2,918.00
00700500	24560	WIRELESS ADVANCED COMMUNICATIO	10/17/16	3,199.43
00700501	13822	XCEL ENERGY	10/17/16	2,262.43
00700502	13822	XCEL ENERGY	10/17/16	92.93
00700503	13822	XCEL ENERGY	10/17/16	939.57
00700504	374382	ADAMS COUNTY STORM WATER MANAG	10/17/16	20.44
00700506	383698	ALLIED BARTON SECURITY SERVICE	10/17/16	1,499.01
00700511	443440	BACON RACHEL	10/17/16	82.00
00700512	289574	BONASERA BETHANY	10/17/16	100.44
00700516	245316	CARNATION BUILDING SERVICES IN	10/17/16	58,440.16
00700523	5050	COLO DIST ATTORNEY COUNCIL	10/17/16	2,525.60
00700524	128693	DREXEL BARRELL & CO	10/17/16	336.00
00700526	418312	DUNCAN NANCY	10/17/16	226.74
00700531	294059	GROUNDS SERVICE COMPANY	10/17/16	2,335.00
00700534	506267	HARTMANN SHAWN	10/17/16	11.34
00700535	523343	HAYNEEDLE INC	10/17/16	4,568.40

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1      General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00700539	433932	INDUSTRIAL PIPE SOLUTIONS	10/17/16	78,303.75
00700540	485045	KORBY LANDSCAPE LLC	10/17/16	7,000.09
00700542	282525	LIPSEY SEAN	10/17/16	145.80
00700550	300693	OTTERTAIL ENVIRONMENTAL INC	10/17/16	53,268.75
00700552	88393	RECRUITING.COM	10/17/16	250.00
00700555	281167	SPECTRA CONTRACT FLOORING SERV	10/17/16	275.00
00700557	41127	THYSSENKRUPP ELEVATOR CORP	10/17/16	6,514.24
00700560	9935	TRAUTMAN & SHREVE INC	10/17/16	65,989.00
00700563	427408	WISNER LORI	10/17/16	82.00
00700565	433987	ADCO DISTRICT ATTORNEY'S OFFIC	10/19/16	406.62
00700566	13060	ADCO HUMAN SERVICES DEPT	10/19/16	169.77
00700567	42415	AMERICAN INCOME LIFE INS CO	10/19/16	15.00
00700569	536523	ARMENDARIZ MARIA	10/19/16	75.00
00700570	40599	BENAVENTE JANET C	10/19/16	199.80
00700571	48790	BROOMFIELD CITY AND COUNTY	10/19/16	38.00
00700575	29706	COLO ASSESSORS ASSN	10/19/16	892.00
00700576	437554	CSU EXTENSION	10/19/16	930.00
00700579	28726	G & K SERVICES	10/19/16	181.30
00700581	59100	HYDRO RESOURCES	10/19/16	2,061.41
00700583	467011	MILE HIGH GAITED HORSE CLUB	10/19/16	500.00
00700584	410610	MYCOROOTS	10/19/16	500.00
00700585	491160	NEMA-TEST	10/19/16	232.00
00700586	430098	REPUBLIC SERVICES #535	10/19/16	2,554.80
00700589	35302	WITTMUS CINDY	10/19/16	56.63
00700590	13822	XCEL ENERGY	10/19/16	495.73
00700591	13822	XCEL ENERGY	10/19/16	23.28
00700592	13822	XCEL ENERGY	10/19/16	160.89
00700593	13822	XCEL ENERGY	10/19/16	20.95
00700594	13822	XCEL ENERGY	10/19/16	60.29
00700595	422130	ABL MANAGEMENT INC	10/20/16	56,742.26
00700597	91631	ADAMSON POLICE PRODUCTS	10/20/16	985.00
00700598	514641	ALEXANDER WEISS CONSULTING LLC	10/20/16	35,000.00
00700599	334777	ALLEN DEBRA JEAN	10/20/16	233.00
00700600	443440	BACON RACHEL	10/20/16	167.40
00700605	426465	CLARK AARON	10/20/16	241.00
00700606	274030	COMMUNICATION CONSTRUCTION & E	10/20/16	1,750.00

## Net Warrants by Fund Detail

1      General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00700607	12689	GALLS LLC	10/20/16	934.98
00700608	52543	GLOBAL MOUNTING SOLUTIONS INC	10/20/16	1,602.50
00700609	93970	GLOBAL TECHNOLOGY RESOURCES IN	10/20/16	5,282.82
00700610	87117	GRANICUS INC	10/20/16	4,200.00
00700614	77611	KD SERVICE GROUP	10/20/16	1,438.61
00700615	145356	KENNY ELECTRIC SERVICE INC	10/20/16	294.00
00700616	4863	METROWEST NEWSPAPERS	10/20/16	61.44
00700618	4551	NEVE'S UNIFORMS INC	10/20/16	988.32
00700623	13951	TDS TELECOM	10/20/16	1,115.65
00700625	158184	UTILITY NOTIFICATION CENTER OF	10/20/16	214.50
00700626	535844	VINCENTBENJAMIN DENVER CONSULT	10/20/16	2,664.75
00700627	473336	ZAYO GROUP HOLDINGS INC	10/20/16	1,975.44
00700631	166637	ALEXANDER BRYCE	10/21/16	86.40
00700633	539660	ALMAZOORY AHMED	10/21/16	66.00
00700634	43744	AUTOMATED BUILDING SOLUTIONS I	10/21/16	23,800.00
00700635	540984	BARNES JULIUS	10/21/16	123.00
00700636	3020	BENNETT TOWN OF	10/21/16	3,000.00
00700638	8973	C & R ELECTRICAL CONTRACTORS I	10/21/16	1,370.00
00700639	8973	C & R ELECTRICAL CONTRACTORS I	10/21/16	473.35
00700640	47571	CANON FINANCIAL SERVICES INC	10/21/16	35.00
00700641	47571	CANON FINANCIAL SERVICES INC	10/21/16	132.00
00700642	47571	CANON FINANCIAL SERVICES INC	10/21/16	190.00
00700643	47571	CANON FINANCIAL SERVICES INC	10/21/16	325.00
00700644	47571	CANON FINANCIAL SERVICES INC	10/21/16	322.00
00700645	47571	CANON FINANCIAL SERVICES INC	10/21/16	325.00
00700646	47571	CANON FINANCIAL SERVICES INC	10/21/16	325.00
00700647	47571	CANON FINANCIAL SERVICES INC	10/21/16	425.00
00700648	47571	CANON FINANCIAL SERVICES INC	10/21/16	125.00
00700649	47571	CANON FINANCIAL SERVICES INC	10/21/16	242.00
00700650	47571	CANON FINANCIAL SERVICES INC	10/21/16	265.78
00700651	47571	CANON FINANCIAL SERVICES INC	10/21/16	156.17
00700652	47571	CANON FINANCIAL SERVICES INC	10/21/16	359.47
00700653	47571	CANON FINANCIAL SERVICES INC	10/21/16	392.19
00700654	47571	CANON FINANCIAL SERVICES INC	10/21/16	526.37
00700655	47571	CANON FINANCIAL SERVICES INC	10/21/16	465.00
00700656	47571	CANON FINANCIAL SERVICES INC	10/21/16	55.00

## Net Warrants by Fund Detail

1      General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00700657	47571	CANON FINANCIAL SERVICES INC	10/21/16	267.00
00700658	47571	CANON FINANCIAL SERVICES INC	10/21/16	487.25
00700659	47571	CANON FINANCIAL SERVICES INC	10/21/16	532.55
00700660	47571	CANON FINANCIAL SERVICES INC	10/21/16	317.26
00700664	2381	COLO ANALYTICAL LABORATORY	10/21/16	40.00
00700674	42540	DELL MARKETING LP	10/21/16	15,947.23
00700676	13409	EASTERN DISPOSE ALL	10/21/16	85.00
00700680	87117	GRANICUS INC	10/21/16	4,650.00
00700681	307402	GREENLAND JOELLE	10/21/16	82.00
00700682	90553	HOBBS DALE	10/21/16	309.42
00700684	539661	JOHNSON TIMOTHY JOSEPH	10/21/16	44.00
00700685	259756	KLASS PHILIP	10/21/16	66.00
00700689	381372	MACHOL & JOHANNES, LLC	10/21/16	19.00
00700695	425932	RUIZ ESMERALDA	10/21/16	66.00
00700697	539662	SCOFIELD AMBER	10/21/16	19.00
00700700	281167	SPECTRA CONTRACT FLOORING SERV	10/21/16	1,590.00
00700701	281167	SPECTRA CONTRACT FLOORING SERV	10/21/16	350.00
00700702	281167	SPECTRA CONTRACT FLOORING SERV	10/21/16	380.00
00700703	281167	SPECTRA CONTRACT FLOORING SERV	10/21/16	1,390.00
00700704	281167	SPECTRA CONTRACT FLOORING SERV	10/21/16	1,890.00
00700705	281167	SPECTRA CONTRACT FLOORING SERV	10/21/16	2,390.00
00700706	281167	SPECTRA CONTRACT FLOORING SERV	10/21/16	1,195.00
00700707	281167	SPECTRA CONTRACT FLOORING SERV	10/21/16	665.00
00700709	42818	STATE OF COLORADO	10/21/16	2,099.19
00700710	42818	STATE OF COLORADO	10/21/16	6,921.45
00700712	293478	SULLIVAN KRISTIN	10/21/16	62.00
00700714	540983	TABACHINICK LAURIE	10/21/16	82.00
00700716	9935	TRAUTMAN & SHREVE INC	10/21/16	10,869.31
00700717	218715	TSCHETTER HAMRICK SULZER	10/21/16	2,904.00
<b>Fund Total</b>				<b>606,371.23</b>

## Net Warrants by Fund Detail

6      Equipment Service Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00700467	526990	JB AUTO CLEAN	10/17/16	80.00
00700588	24560	WIRELESS ADVANCED COMMUNICATIO	10/19/16	55,325.84
00700596	295403	ABRA AUTO BODY & GLASS	10/20/16	239.31
00700612	491796	HRT ENTERPRISES LLC	10/20/16	340.00
00700619	88812	PATRIDGE CHRISTOPHER	10/20/16	335.98
00700621	16237	SAM HILL OIL INC	10/20/16	33,961.20
00700622	277888	SHOWTIME AUTOGLASS & RESTORATI	10/20/16	940.00
00700624	7499	UNDER COVER CANVAS & UPHOLSTER	10/20/16	100.00
			<b>Fund Total</b>	<b>91,322.33</b>

**County of Adams**  
**Net Warrants by Fund Detail**

7

**Stormwater Utility Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00700580	381414	HAMPDEN PRESS INC	10/19/16	2,028.77
			<b>Fund Total</b>	<b>2,028.77</b>

## Net Warrants by Fund Detail

13Road & Bridge Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00700452	10892	COLUMBINE PAPER & MAINTENANCE	10/17/16	170.59
00700457	338740	DAVEY TREE EXPERT CO	10/17/16	1,400.00
00700475	21134	METECH RECYCLING	10/17/16	1,200.59
00700479	18611	POLAR REFRIGERATION COMPANY	10/17/16	200.00
00700498	78276	WAYNE A MITCHELL LLC	10/17/16	2,277.00
00700505	13074	ALBERT FREI & SONS INC	10/17/16	23,969.09
00700509	23969	ASPHALT SPECIALTIES CO INC	10/17/16	713.90
00700510	23969	ASPHALT SPECIALTIES CO INC	10/17/16	774.06
00700514	8909	BRANNAN SAND & GRAVEL COMPANY	10/17/16	702.74
00700525	128693	DREXEL BARRELL & CO	10/17/16	29,171.37
00700530	212385	GMCO CORPORATION	10/17/16	6,856.16
00700538	435508	HUITT-ZOLLARS INC	10/17/16	840.00
00700561	7863	UNION PACIFIC RAILROAD COMPANY	10/17/16	2,854.06
00700577	433714	DiExSys LLC	10/19/16	24,990.00
00700611	354424	H&A CONCRETE SAWING INC	10/20/16	151,602.11
00700661	425945	CDL COLLEGE	10/21/16	1,500.00
00700677	534975	EP&A ENVIROTAC INC	10/21/16	22,408.75
00700692	525686	OUTTA CONTROL DESIGNS	10/21/16	4,029.80
<b>Fund Total</b>				<b>275,660.22</b>

## Net Warrants by Fund Detail

**19 Insurance Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00700425	13663	DELTA DENTAL PLAN OF COLO	10/17/16	10,642.50
00700426	13663	DELTA DENTAL PLAN OF COLO	10/17/16	444.60
00700429	13593	KAISER PERMANENTE	10/17/16	71,198.16
00700431	98414	ROCKY MTN HEALTH PLAN	10/17/16	4,555.50
00700433	46792	SECURE HORIZONS	10/17/16	15,417.81
00700435	37507	UNITED HEALTHCARE	10/17/16	7,850.88
00700436	240958	UNITED HEALTHCARE	10/17/16	10,400.70
00700437	240959	UNITED HEALTHCARE	10/17/16	24,431.59
00700438	11552	VISION SERVICE PLAN-CONNECTICU	10/17/16	381.60
00700439	11552	VISION SERVICE PLAN-CONNECTICU	10/17/16	4.32
00700440	11552	VISION SERVICE PLAN-CONNECTICU	10/17/16	14,542.53
00700441	11552	VISION SERVICE PLAN-CONNECTICU	10/17/16	1,191.45
00700515	419839	CAREHERE LLC	10/17/16	39,717.52
00700678	541052	ESTATE OF BERNICE MARTINEZ	10/21/16	287.84
<b>Fund Total</b>				<b>201,067.00</b>



Net Warrants by Fund Detail

24

Conservation Trust Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00700675	128693	DREXEL BARRELL & CO	10/21/16	2,360.00
00700711	266133	STREAM DESIGN LLC	10/21/16	678.00
<b>Fund Total</b>				<b>3,038.00</b>

Net Warrants by Fund Detail

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Waste Management Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00700693	433702	QUANTUM WATER CONSULTING	10/21/16	40,081.67
			<b>Fund Total</b>	<b>40,081.67</b>

Net Warrants by Fund Detail

27

Open Space Projects Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00700587	1007	UNITED POWER (UNION REA)	10/19/16	20.00
<b>Fund Total</b>				<b>20.00</b>

Net Warrants by Fund Detail

28

Open Space Sales Tax Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00700582	52940	MCDOWELL SHANNON	10/19/16	89.10
<b>Fund Total</b>				<b>89.10</b>

## Net Warrants by Fund Detail

30Community Dev Block Grant Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00700558	29064	TIERRA ROJO CONSTRUCTION	10/17/16	3,931.53
00700559	29064	TIERRA ROJO CONSTRUCTION	10/17/16	2,624.47
00700604	514167	CIVITAS LLC	10/20/16	8,690.00
00700628	13047	ADAMS COUNTY HOUSING AUTHORITY	10/21/16	13,567.49
00700715	29064	TIERRA ROJO CONSTRUCTION	10/21/16	6,160.00
<b>Fund Total</b>				<b>34,973.49</b>

## Net Warrants by Fund Detail

31

Head Start Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00700507	90536	ANDREWS PRODUCE INC	10/17/16	215.95
00700508	51159	ARELLANO ISEBEL	10/17/16	169.00
00700513	45333	BRAGGS- JONES SHONDRELA	10/17/16	105.30
00700517	37266	CENTURY LINK	10/17/16	347.04
00700518	37266	CENTURY LINK	10/17/16	125.92
00700519	37266	CENTURY LINK	10/17/16	97.52
00700520	37266	CENTURY LINK	10/17/16	1,118.51
00700521	152461	CENTURYLINK	10/17/16	19.24
00700522	152245	CHAVEZ MARIA M	10/17/16	34.02
00700527	535097	EVOLUER CONSULTING LLC	10/17/16	1,890.00
00700528	319944	FARSTER NARLESKY PENNY	10/17/16	64.26
00700529	28726	G & K SERVICES	10/17/16	122.98
00700532	248250	HAFFKE HEATHER	10/17/16	20.52
00700533	434213	HAGER MICHAEL	10/17/16	108.00
00700536	537346	HERHOLD MARK	10/17/16	28.62
00700537	535614	HR ADVANTAGE GROUP LLC	10/17/16	3,660.00
00700541	342449	LILLIE SHANNON	10/17/16	11.72
00700543	157395	LUJAN MONICA	10/17/16	169.00
00700544	461402	MEGAN THOMAS NUTRITION CONSULT	10/17/16	735.00
00700545	61836	NAJEE-ULLAH NAJLA	10/17/16	66.96
00700546	55021	NULINX INTERNATIONAL	10/17/16	820.00
00700547	371505	OLIVER LESLIE	10/17/16	93.96
00700548	1463	ORKIN PEST CONTROL	10/17/16	169.87
00700549	47685	ORTIZ REBECCA T	10/17/16	35.96
00700551	129209	RAMIREZ SUSANA	10/17/16	169.00
00700553	290050	RODRIGUEZ JAMIE	10/17/16	98.28
00700554	537347	SANCHEZ MARITZA	10/17/16	30.24
00700556	62190	STEELMAN MARU E	10/17/16	38.66
00700562	354139	WALMSLEY NATASHA	10/17/16	223.45
00700564	430236	YANEZ ARTURO	10/17/16	211.71
00700568	91876	ANDERSON ISABEL	10/19/16	11.50
00700602	166025	CHILDRENS HOSPITAL	10/20/16	2,467.50
00700603	166025	CHILDRENS HOSPITAL	10/20/16	1,890.00
00700629	8801361	ADAMS COUNTY SHERIFF DEPT	10/21/16	5.00
00700630	8801361	ADAMS COUNTY SHERIFF DEPT	10/21/16	5.00
00700637	362722	BOWDRY CYNTHIA	10/21/16	25.92

## Net Warrants by Fund Detail

31Head Start Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00700662	37266	CENTURY LINK	10/21/16	149.76
00700663	37266	CENTURY LINK	10/21/16	110.90
00700665	5078	COLO DEPT OF HUMAN SERVICES	10/21/16	28.00
00700666	5078	COLO DEPT OF HUMAN SERVICES	10/21/16	28.00
00700669	2157	COLO OCCUPATIONAL MEDICINE PHY	10/21/16	150.00
00700671	255001	COPYCO QUALITY PRINTING INC	10/21/16	65.00
00700672	255001	COPYCO QUALITY PRINTING INC	10/21/16	65.00
00700673	255001	COPYCO QUALITY PRINTING INC	10/21/16	65.00
00700679	28726	G & K SERVICES	10/21/16	122.98
00700683	445588	HOWARD ALICIA	10/21/16	24.14
00700686	40323	L & N SUPPLY COMPANY INC	10/21/16	632.70
00700687	367754	LANDEROS BRENDA	10/21/16	47.52
00700690	15180	MARTINEZ VICKY MORALES	10/21/16	60.48
00700691	6192	MEADOW GOLD DAIRY	10/21/16	340.25
00700694	153351	REED ALMA	10/21/16	31.32
00700696	538831	SANDOVAL GABRIELLA	10/21/16	59.94
00700713	13770	SYSCO DENVER	10/21/16	1,052.76
00700718	525554	VOCK ELIZABETH CLAIRE	10/21/16	36.72
<b>Fund Total</b>				<b>18,476.08</b>

## Net Warrants by Fund Detail

35Workforce & Business Center

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00700572	450030	BUENO MICHELLE ELAINE	10/19/16	1,600.00
00700573	362150	CASTILLO MARIA	10/19/16	51.84
00700613	535556	JURGENS ALYSSA	10/20/16	50.00
00700617	479165	MORPHO TRUST USA LLC	10/20/16	86.50
<b>Fund Total</b>				<b>1,788.34</b>



## Net Warrants by Fund Detail

43Front Range Airport

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00700578	410707	EQUIPMENT SAVERS	10/19/16	3,581.80
00700601	494250	BLACK ROOFING INC	10/20/16	48,187.00
00700620	80258	RAPTOR USED OIL RECOVERY	10/20/16	150.00
00700632	540996	ALLEN VINCE	10/21/16	231.00
00700667	33604	COLO DEPT OF REVENUE	10/21/16	973.00
00700668	33604	COLO DEPT OF REVENUE	10/21/16	13.00
00700670	541033	CONRY MIKE	10/21/16	410.00
00700688	112383	LOTTMAN OIL COMPANY	10/21/16	236.75
00700698	541047	SKULTIN ELLIOT	10/21/16	268.00
00700699	540999	SOLDO JOSEPH PETER	10/21/16	77.86
00700708	541030	SPITZER JAMES	10/21/16	217.69
<b>Fund Total</b>				<b>54,346.10</b>

**County of Adams**  
**Net Warrants by Fund Detail**

44

**Water and Wastewater Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00700574	2381	COLO ANALYTICAL LABORATORY	10/19/16	43.50
<b>Fund Total</b>				<b>43.50</b>

**County of Adams**  
**Net Warrants by Fund Detail**

**Grand Total**      1,329,305.83

**County of Adams**  
**Vendor Payment Report**

<u>4303</u>	<u>Airport FBO</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Airport Freight					
	LOTTMAN OIL COMPANY	00043	879820	264032	10/13/16	3.75
					Account Total	3.75
	Equipment Maint & Repair					
	EQUIPMENT SAVERS	00043	880079	264232	10/18/16	3,581.80
					Account Total	3,581.80
	Licenses and Fees					
	COLO DEPT OF REVENUE	00043	880166	264302	10/19/16	.31
	COLO DEPT OF REVENUE	00043	880167	264302	10/19/16	.10-
					Account Total	.21
	Oil & Lubrication					
	LOTTMAN OIL COMPANY	00043	879820	264032	10/13/16	233.00
					Account Total	233.00
	Waste Oil Recovery					
	RAPTOR USED OIL RECOVERY	00043	880134	264250	10/18/16	150.00
					Account Total	150.00
					Department Total	<u>3,968.76</u>

**County of Adams**  
**Vendor Payment Report**

<u>1011</u>	<u>Board of County Commissioners</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Legal Notices					
	METROWEST NEWSPAPERS	00001	879551	263919	10/12/16	<u>61.44</u>
					Account Total	<u>61.44</u>
					Department Total	<u><u>61.44</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>1024</u>	<u>Budget Office</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	DUNCAN NANCY	00001	880055	264190	10/17/16	115.56
					Account Total	115.56
	Operating Supplies					
	DUNCAN NANCY	00001	880054	264190	10/17/16	88.18
					Account Total	88.18
	Travel & Transportation					
	DUNCAN NANCY	00001	880047	264190	10/17/16	23.00
					Account Total	23.00
					Department Total	226.74

**County of Adams**  
**Vendor Payment Report**

<u>3064</u>	<u>Building Safety</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Permits					
	ANDERSON BILLY & SUSAN	00001	879556	263941	10/12/16	152.00
	SOLAR CITY CORPORATION	00001	879557	263941	10/12/16	125.60
					Account Total	<u>277.60</u>
					Department Total	<u><u>277.60</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>3160</u>	<u>Community Corrections Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=6672	00004	879850	264085	10/03/16	<u>939.57</u>
					Account Total	<u>939.57</u>
					Department Total	<u><u>939.57</u></u>



**County of Adams**  
**Vendor Payment Report**

<u>30</u>	<u>Community Dev Block Grant Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	CIVITAS LLC	00030	880236	264346	10/20/16	<u>8,690.00</u>
					Account Total	<u>8,690.00</u>
					Department Total	<u><u>8,690.00</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>24</u>	<u>Conservation Trust Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	DREXEL BARRELL & CO	00024	880374	264405	10/21/16	2,360.00
	STREAM DESIGN LLC	00024	880372	264405	10/21/16	678.00
					Account Total	<u>3,038.00</u>
					Department Total	<u><u>3,038.00</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>2055</u>	<u>Control/Enforcement</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	ADCOM Rental					
	ADAMS COUNTY COMMUNICATION	00001	879555	263941	10/12/16	6,753.25
					Account Total	<u>6,753.25</u>
	Medical Services					
	VCA THORNTON ANIMAL HOSPITAL	00001	879558	263941	10/12/16	105.25
					Account Total	<u>105.25</u>
					Department Total	<u><u>6,858.50</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>1041</u>	<u>County Assessor</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Software and Licensing					
	COLO ASSESSORS ASSN	00001	880109	264237	10/18/16	892.00
					Account Total	892.00
	Special Events					
	WITTMUS CINDY	00001	879908	264155	10/17/16	56.63
					Account Total	56.63
					Department Total	<u>948.63</u>

**County of Adams**  
**Vendor Payment Report**

<u>1013</u>	<u>County Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	BROOMFIELD CITY AND COUNTY	00001	880082	264235	10/18/16	38.00
	DSD CIVIL DENVER COUNTY SHERIF	00001	879544	263902	10/12/16	37.20
	DSD CIVIL DENVER COUNTY SHERIF	00001	879545	263902	10/12/16	48.20
	JEFFERSON COUNTY SHERIFF'S CIV	00001	879541	263902	10/12/16	42.00
					Account Total	165.40
					Department Total	165.40

**County of Adams**  
**Vendor Payment Report**

<u>2031</u>	<u>County Coroner</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Maintenance Contracts					
	CROWN LIFT TRUCKS	00001	879880	264107	10/14/16	98.00
					Account Total	98.00
	Medical Services					
	CARUSO JAMES LOUIS	00001	879881	264107	10/14/16	3,075.00
	FRANK MEREDITH ANN	00001	879883	264107	10/14/16	1,025.00
					Account Total	4,100.00
	Other Professional Serv					
	ARIAS REBECCA M	00001	879877	264107	10/14/16	1,400.00
	LANGUAGE LINE SERVICES	00001	879882	264107	10/14/16	9.02
	NEISES JOSILYN T	00001	879879	264107	10/14/16	71.50
	UNIPATH	00001	879878	264107	10/14/16	1,043.00
					Account Total	2,523.52
					Department Total	6,721.52

**County of Adams**  
**Vendor Payment Report**

<u>1052</u>	<u>Criminal Justice Coord Council</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Travel & Transportation					
	ALLEN DEBRA JEAN	00001	880232	264345	10/20/16	<u>233.00</u>
					Account Total	<u>233.00</u>
					Department Total	<u><u>233.00</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>1043</u>	<u>CA- Social Services IV-D</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Court Reporting Transcripts					
	HIGH PLAINS REPORTING & TRANSC	00001	879542	263902	10/12/16	<u>48.00</u>
					Account Total	<u>48.00</u>
					Department Total	<u><u>48.00</u></u>



**County of Adams**  
**Vendor Payment Report**

<u>1044</u>	<u>CA- SS Dependency/Neglect</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Consultant Services					
	D'ALBEY BARB	00001	879543	263902	10/12/16	<u>300.00</u>
					Account Total	<u>300.00</u>
					Department Total	<u><u>300.00</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>943014</u>	<u>CDBG Program Income 14-15</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Institutions					
	TIERRA ROJO CONSTRUCTION	00030	879940	264170	10/17/16	<u>2,624.47</u>
					Account Total	<u>2,624.47</u>
					Department Total	<u><u>2,624.47</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>941015</u>	<u>CDBG PY2015-16</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Institutions					
	TIERRA ROJO CONSTRUCTION	00030	879939	264170	10/17/16	3,931.53
	TIERRA ROJO CONSTRUCTION	00030	880323	264364	10/20/16	6,160.00
					Account Total	10,091.53
					Department Total	10,091.53

**County of Adams**  
**Vendor Payment Report**

<u>1023</u>	<u>CLK Motor Vehicle</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	ALEXANDER BRYCE	00001	880282	264353	10/20/16	86.40
	HOBBS DALE	00001	880341	264401	10/21/16	309.42
					Account Total	<u>395.82</u>
					Department Total	<u><u>395.82</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>1051</u>	<u>District Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Witness Fees					
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	880114	264246	10/18/16	105.45
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	880114	264246	10/18/16	73.21
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	880114	264246	10/18/16	120.36
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	880114	264246	10/18/16	45.96
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	880114	264246	10/18/16	61.64
					Account Total	406.62
					Department Total	406.62

**County of Adams**  
**Vendor Payment Report**

<u>6</u>	<u>Equipment Service Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	ABRA AUTO BODY & GLASS	00006	880245	264346	10/20/16	25.00
	ABRA AUTO BODY & GLASS	00006	880246	264346	10/20/16	214.31
	SAM HILL OIL INC	00006	880237	264346	10/20/16	2,612.81
	SAM HILL OIL INC	00006	880238	264346	10/20/16	4,080.79
	SAM HILL OIL INC	00006	880239	264346	10/20/16	44.32
	SAM HILL OIL INC	00006	880240	264346	10/20/16	13,459.50
	SAM HILL OIL INC	00006	880241	264346	10/20/16	600.91
	SAM HILL OIL INC	00006	880242	264346	10/20/16	13,113.70
	SAM HILL OIL INC	00006	880244	264346	10/20/16	49.17
					Account Total	34,200.51
					Department Total	34,200.51

**County of Adams**  
**Vendor Payment Report**

<u>9243</u>	<u>Extension - Family &amp; Consumer</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	BENAVENTE JANET C	00001	879562	263942	10/12/16	<u>199.80</u>
					Account Total	<u>199.80</u>
					Department Total	<u><u>199.80</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>9240</u>	<u>Extension - Horticulture</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	CSU EXTENSION	00001	879560	263942	10/12/16	<u>125.00</u>
					Account Total	<u>125.00</u>
					Department Total	<u><u>125.00</u></u>



**County of Adams**  
**Vendor Payment Report**

<u>9242</u>	<u>Extension- Agriculture</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	CSU EXTENSION	00001	879559	263942	10/12/16	235.00
					Account Total	235.00
	Operating Supplies					
	MYCOROOTS	00001	879602	263942	10/12/16	500.00
	NEMA-TEST	00001	879597	263942	10/12/16	232.00
					Account Total	732.00
					Department Total	967.00

**County of Adams**  
**Vendor Payment Report**

<u>9244</u>	<u>Extension- 4-H/Youth</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	CSU EXTENSION	00001	879554	263942	10/12/16	245.00
	CSU EXTENSION	00001	879561	263942	10/12/16	325.00
					Account Total	570.00
	Operating Supplies					
	AMERICAN INCOME LIFE INS CO	00001	879568	263942	10/12/16	15.00
					Account Total	15.00
					Department Total	585.00

**County of Adams**  
**Vendor Payment Report**

<u>5025</u>	<u>Facilities Club House Maint.</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	TRAUTMAN & SHREVE INC	00005	880215	264342	10/19/16	<u>4,533.47</u>
					Account Total	<u>4,533.47</u>
					Department Total	<u><u>4,533.47</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>1017</u>	<u>Finance Purchasing</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	BONASERA BETHANY	00001	880049	264190	10/17/16	100.44
	HARTMANN SHAWN	00001	880050	264190	10/17/16	11.34
					Account Total	111.78
					Department Total	111.78

**County of Adams**  
**Vendor Payment Report**

<u>43</u>	<u>Front Range Airport</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Colorado Sales Tax Payable					
	COLO DEPT OF REVENUE	00043	880166	264302	10/19/16	972.69
	COLO DEPT OF REVENUE	00043	880167	264302	10/19/16	13.10
					Account Total	985.79
	Other Deferred Revenue					
	SOLDO JOSEPH PETER	00043	880339	264401	10/21/16	77.86
					Account Total	77.86
	Received not Vouchered Clrg					
	BLACK ROOFING INC	00043	880235	264346	10/20/16	40,159.00
	BLACK ROOFING INC	00043	880235	264346	10/20/16	2,994.00
	BLACK ROOFING INC	00043	880235	264346	10/20/16	5,034.00
					Account Total	48,187.00
	T-Hanger Deposits					
	ALLEN VINCE	00043	880335	264401	10/21/16	231.00
	CONRY MIKE	00043	880336	264401	10/21/16	410.00
	SKULTIN ELLIOT	00043	880340	264401	10/21/16	268.00
	SPITZER JAMES	00043	880338	264401	10/21/16	217.69
					Account Total	1,126.69
					Department Total	50,377.34

**County of Adams**  
**Vendor Payment Report**

<u>1091</u>	<u>FO - Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	BENNETT TOWN OF	00001	880213	264342	10/19/16	3,000.00
	BRYANT ERIK	00001	879871	264091	10/15/16	51.30
	LUJAN JULIE	00001	879867	264091	10/15/16	47.52
	LUJAN JULIE	00001	879868	264091	10/15/16	3.78
					Account Total	3,102.60
	Water/Sewer/Sanitation					
	ADAMS COUNTY STORM WATER MANAG	00001	880048	264190	10/17/16	20.44
					Account Total	20.44
					Department Total	3,123.04

**County of Adams**  
**Vendor Payment Report**

<u>1075</u>	<u>FO - Administration Bldg</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=6673	00001	879845	264085	10/03/16	1,589.55
	EASTERN DISPOSE ALL	00001	880217	264342	10/19/16	85.00
					Account Total	<u>1,674.55</u>
					Department Total	<u><u>1,674.55</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>1077</u>	<u>FO - Government Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Maintenance Contracts					
	SPECTRA CONTRACT FLOORING SERV	00001	880220	264342	10/19/16	1,590.00
	SPECTRA CONTRACT FLOORING SERV	00001	880221	264342	10/19/16	350.00
	SPECTRA CONTRACT FLOORING SERV	00001	880224	264342	10/19/16	1,390.00
	SPECTRA CONTRACT FLOORING SERV	00001	880225	264342	10/19/16	1,890.00
	SPECTRA CONTRACT FLOORING SERV	00001	880227	264342	10/19/16	2,390.00
	SPECTRA CONTRACT FLOORING SERV	00001	880228	264342	10/19/16	1,195.00
	SPECTRA CONTRACT FLOORING SERV	00001	880229	264342	10/19/16	665.00
					Account Total	9,470.00
					Department Total	9,470.00



**County of Adams**  
**Vendor Payment Report**

<u>1070</u>	<u>FO - Honnen/Plan&amp;Devel/MV Ware</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=6670	00001	879842	264085	09/30/16	<u>2,262.43</u>
					Account Total	<u>2,262.43</u>
					Department Total	<u><u>2,262.43</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>1067</u>	<u>FO - Human Service Building</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	AUTOMATIC-ACCESS INC	00001	879866	264091	10/15/16	<u>173.75</u>
					Account Total	<u>173.75</u>
					Department Total	<u><u>173.75</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>1071</u>	<u>FO - Justice Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	C & R ELECTRICAL CONTRACTORS I	00001	880218	264342	10/19/16	1,370.00
	C & R ELECTRICAL CONTRACTORS I	00001	880219	264342	10/19/16	473.35
	WEATHERSURE	00001	879863	264091	10/15/16	2,918.00
					Account Total	4,761.35
	Maintenance Contracts					
	SUMMIT LABORATORIES INC	00001	879869	264091	10/15/16	410.00
					Account Total	410.00
					Department Total	5,171.35

**County of Adams**  
**Vendor Payment Report**

<u>1076</u>	<u>FO-Adams County Service Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	KORBY LANDSCAPE LLC	00001	879864	264091	10/15/16	2,572.98
	KORBY LANDSCAPE LLC	00001	879865	264091	10/15/16	2,801.00
					Account Total	<u>5,373.98</u>
					Department Total	<u><u>5,373.98</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>1069</u>	<u>FO-Animal Shelter Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=6668	00001	879841	264085	10/05/16	<u>2,721.57</u>
					Account Total	<u>2,721.57</u>
					Department Total	<u><u>2,721.57</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>1063</u>	<u>FO-Flatrock Training Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	COLO ANALYTICAL LABORATORY	00001	880214	264342	10/19/16	40.00
					Account Total	40.00
	Gas & Electricity					
	Energy Cap Bill ID=6665	00001	879840	264085	09/29/16	94.12
					Account Total	94.12
					Department Total	<u>134.12</u>

**County of Adams**  
**Vendor Payment Report**

<u>1112</u>	<u>FO-Sheriff HQ/Coroner Building</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=6669	00001	879849	264085	10/05/16	5,007.06
					Account Total	<u>5,007.06</u>
	Grounds Maintenance					
	CITY WIDE SEAMLESS GUTTERS	00001	879862	264091	10/15/16	440.00
					Account Total	<u>440.00</u>
	Repair & Maint Supplies					
	FRONT RANGE TIRE RECYCLE	00001	879870	264091	10/15/16	257.52
					Account Total	<u>257.52</u>
					Department Total	<u><u>5,704.58</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	ABL MANAGEMENT INC	00001	880115	264248	10/18/16	4,472.08
	ABL MANAGEMENT INC	00001	880116	264248	10/18/16	23,914.36
	ABL MANAGEMENT INC	00001	880117	264248	10/18/16	10.26
	ABL MANAGEMENT INC	00001	880118	264248	10/18/16	4,586.18
	ABL MANAGEMENT INC	00001	880119	264248	10/18/16	23,759.38
	ADAMSON POLICE PRODUCTS	00001	880120	264248	10/18/16	845.00
	ADAMSON POLICE PRODUCTS	00001	880121	264248	10/18/16	140.00
	ADVANCED LAUNDRY SYSTEMS	00001	879888	264113	10/14/16	308.75
	ALEXANDER WEISS CONSULTING LLC	00001	880251	264346	10/20/16	35,000.00
	ALLIED BARTON SECURITY SERVICE	00001	879927	264161	10/17/16	1,499.01
	AUTOMATED BUILDING SOLUTIONS I	00001	880355	264405	10/21/16	23,800.00
	BI- BEHAVIORAL INTERVENTIONS	00001	879898	264113	10/14/16	2,112.29
	BI- BEHAVIORAL INTERVENTIONS	00001	879898	264113	10/14/16	2,234.30
	CANON FINANCIAL SERVICES INC	00001	880283	264354	10/20/16	35.00
	CANON FINANCIAL SERVICES INC	00001	880284	264354	10/20/16	132.00
	CANON FINANCIAL SERVICES INC	00001	880285	264354	10/20/16	190.00
	CANON FINANCIAL SERVICES INC	00001	880286	264354	10/20/16	325.00
	CANON FINANCIAL SERVICES INC	00001	880287	264354	10/20/16	322.00
	CANON FINANCIAL SERVICES INC	00001	880288	264354	10/20/16	325.00
	CANON FINANCIAL SERVICES INC	00001	880289	264354	10/20/16	325.00
	CANON FINANCIAL SERVICES INC	00001	880290	264354	10/20/16	425.00
	CANON FINANCIAL SERVICES INC	00001	880291	264354	10/20/16	125.00
	CANON FINANCIAL SERVICES INC	00001	880292	264354	10/20/16	242.00
	CANON FINANCIAL SERVICES INC	00001	880293	264354	10/20/16	265.78
	CANON FINANCIAL SERVICES INC	00001	880294	264354	10/20/16	156.17
	CANON FINANCIAL SERVICES INC	00001	880295	264354	10/20/16	359.47
	CANON FINANCIAL SERVICES INC	00001	880296	264354	10/20/16	392.19
	CANON FINANCIAL SERVICES INC	00001	880297	264354	10/20/16	526.37
	CANON FINANCIAL SERVICES INC	00001	880298	264354	10/20/16	465.00
	CANON FINANCIAL SERVICES INC	00001	880299	264354	10/20/16	55.00
	CANON FINANCIAL SERVICES INC	00001	880300	264354	10/20/16	267.00
	CANON FINANCIAL SERVICES INC	00001	880301	264354	10/20/16	487.25
	CANON FINANCIAL SERVICES INC	00001	880302	264354	10/20/16	532.55
	CANON FINANCIAL SERVICES INC	00001	880303	264354	10/20/16	317.26
	CARNATION BUILDING SERVICES IN	00001	879977	264161	10/17/16	663.75



**County of Adams**  
**Vendor Payment Report**

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	CARNATION BUILDING SERVICES IN	00001	879977	264161	10/17/16	565.00
	CARNATION BUILDING SERVICES IN	00001	879977	264161	10/17/16	1,213.41
	CARNATION BUILDING SERVICES IN	00001	879977	264161	10/17/16	4,309.17
	CARNATION BUILDING SERVICES IN	00001	879977	264161	10/17/16	4,968.83
	CARNATION BUILDING SERVICES IN	00001	879977	264161	10/17/16	5,566.41
	CARNATION BUILDING SERVICES IN	00001	879977	264161	10/17/16	6,163.00
	CARNATION BUILDING SERVICES IN	00001	879977	264161	10/17/16	304.42
	CARNATION BUILDING SERVICES IN	00001	879977	264161	10/17/16	1,382.42
	CARNATION BUILDING SERVICES IN	00001	879977	264161	10/17/16	17,760.00
	CARNATION BUILDING SERVICES IN	00001	879977	264161	10/17/16	1,824.25
	CARNATION BUILDING SERVICES IN	00001	879977	264161	10/17/16	1,465.92
	CARNATION BUILDING SERVICES IN	00001	879977	264161	10/17/16	2,188.67
	CARNATION BUILDING SERVICES IN	00001	879977	264161	10/17/16	1,094.33
	CARNATION BUILDING SERVICES IN	00001	879977	264161	10/17/16	887.67
	CARNATION BUILDING SERVICES IN	00001	879977	264161	10/17/16	3,808.33
	CARNATION BUILDING SERVICES IN	00001	879977	264161	10/17/16	1,115.75
	CARNATION BUILDING SERVICES IN	00001	879977	264161	10/17/16	99.75
	CARNATION BUILDING SERVICES IN	00001	879977	264161	10/17/16	3,059.08
	COLO DIST ATTORNEY COUNCIL	00001	880026	264161	10/17/16	2,525.60
	CORRECTEK INC	00001	879889	264113	10/14/16	925.00
	DELL MARKETING L P	00001	880361	264405	10/21/16	15,947.23
	DREXEL BARRELL & CO	00001	879933	264161	10/17/16	336.00
	GALLS LLC	00001	880122	264248	10/18/16	203.58
	GALLS LLC	00001	880123	264248	10/18/16	44.78
	GALLS LLC	00001	880123	264248	10/18/16	290.19
	GALLS LLC	00001	880123	264248	10/18/16	396.43
	GLOBAL MOUNTING SOLUTIONS INC	00001	880136	264248	10/18/16	1,602.50
	GLOBAL TECHNOLOGY RESOURCES IN	00001	880249	264346	10/20/16	5,282.82
	GRANICUS INC	00001	880250	264346	10/20/16	4,200.00
	GRANICUS INC	00001	880345	264405	10/21/16	4,650.00
	GROUNDS SERVICE COMPANY	00001	879928	264161	10/17/16	640.00
	GROUNDS SERVICE COMPANY	00001	879929	264161	10/17/16	1,257.50
	GROUNDS SERVICE COMPANY	00001	879930	264161	10/17/16	227.50
	GROUNDS SERVICE COMPANY	00001	879931	264161	10/17/16	210.00
	HAYNEEDLE INC	00001	879932	264161	10/17/16	4,568.40
	INDUSTRIAL PIPE SOLUTIONS	00001	880041	264161	10/17/16	11,966.98

**County of Adams**  
**Vendor Payment Report**

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	INDUSTRIAL PIPE SOLUTIONS	00001	880056	264161	10/17/16	70,458.02
	ISC INC	00001	879896	264113	10/14/16	2,186.88
	KD SERVICE GROUP	00001	880124	264248	10/18/16	891.87
	KD SERVICE GROUP	00001	880125	264248	10/18/16	546.74
	KORBY LANDSCAPE LLC	00001	879925	264161	10/17/16	1,074.00
	KORBY LANDSCAPE LLC	00001	879926	264161	10/17/16	921.34
	KORBY LANDSCAPE LLC	00001	879926	264161	10/17/16	884.00
	KORBY LANDSCAPE LLC	00001	879926	264161	10/17/16	1,250.00
	KORBY LANDSCAPE LLC	00001	879926	264161	10/17/16	283.00
	KORBY LANDSCAPE LLC	00001	879926	264161	10/17/16	401.75
	KORBY LANDSCAPE LLC	00001	879926	264161	10/17/16	401.00
	KORBY LANDSCAPE LLC	00001	879926	264161	10/17/16	670.00
	KORBY LANDSCAPE LLC	00001	879926	264161	10/17/16	399.00
	KORBY LANDSCAPE LLC	00001	879926	264161	10/17/16	716.00
	NEVE'S UNIFORMS INC	00001	880126	264248	10/18/16	111.90
	NEVE'S UNIFORMS INC	00001	880127	264248	10/18/16	180.84
	NEVE'S UNIFORMS INC	00001	880128	264248	10/18/16	33.95
	NEVE'S UNIFORMS INC	00001	880129	264248	10/18/16	95.95
	NEVE'S UNIFORMS INC	00001	880130	264248	10/18/16	270.75
	NEVE'S UNIFORMS INC	00001	880131	264248	10/18/16	294.93
	NORCHEM DRUG TESTING LABORATOR	00001	879890	264113	10/14/16	26.43
	OTTERTAIL ENVIRONMENTAL INC	00001	880057	264161	10/17/16	53,268.75
	PEARL COUNSELING ASSOCIATES	00001	879891	264113	10/14/16	1,625.00
	PEARL COUNSELING ASSOCIATES	00001	879891	264113	10/14/16	4,875.00
	PEARL COUNSELING ASSOCIATES	00001	879892	264113	10/14/16	104.39
	PEARL COUNSELING ASSOCIATES	00001	879892	264113	10/14/16	2,737.84
	RAMIREZ GABRIELLA	00001	879893	264113	10/14/16	347.00
	RECRUITING.COM	00001	879976	264161	10/17/16	250.00
	SECURITY & SAF OF COLORADO INC	00001	879894	264113	10/14/16	5,700.00
	SPECTRA CONTRACT FLOORING SERV	00001	879923	264161	10/17/16	275.00
	STATE OF COLORADO	00001	880356	264405	10/21/16	2,099.19
	STATE OF COLORADO	00001	880357	264405	10/21/16	6,921.45
	THYSSENKRUPP ELEVATOR CORP	00001	879924	264161	10/17/16	250.00
	THYSSENKRUPP ELEVATOR CORP	00001	879924	264161	10/17/16	250.00
	THYSSENKRUPP ELEVATOR CORP	00001	879924	264161	10/17/16	125.00
	THYSSENKRUPP ELEVATOR CORP	00001	879924	264161	10/17/16	675.00

**County of Adams**  
**Vendor Payment Report**

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	THYSSENKRUPP ELEVATOR CORP	00001	879924	264161	10/17/16	2,575.00
	THYSSENKRUPP ELEVATOR CORP	00001	879924	264161	10/17/16	1,182.03
	THYSSENKRUPP ELEVATOR CORP	00001	879924	264161	10/17/16	91.21
	THYSSENKRUPP ELEVATOR CORP	00001	879924	264161	10/17/16	325.00
	THYSSENKRUPP ELEVATOR CORP	00001	879924	264161	10/17/16	791.00
	THYSSENKRUPP ELEVATOR CORP	00001	879924	264161	10/17/16	250.00
	TRAUTMAN & SHREVE INC	00001	879921	264161	10/17/16	65,989.00
	ULTRAMAX	00001	879895	264113	10/14/16	1,460.00
	WIRELESS ADVANCED COMMUNICATIO	00001	879897	264113	10/14/16	1,725.00
	WIRELESS ADVANCED COMMUNICATIO	00001	879897	264113	10/14/16	1,474.43
	ZAYO GROUP HOLDINGS INC	00001	880281	264346	10/20/16	1,975.00
					Account Total	<u>482,105.96</u>
	Retainages Payable					
	INDUSTRIAL PIPE SOLUTIONS	00001	880041	264161	10/17/16	598.35-
	INDUSTRIAL PIPE SOLUTIONS	00001	880056	264161	10/17/16	3,522.90-
					Account Total	<u>4,121.25-</u>
					Department Total	<u><u>477,984.71</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>31</u>	<u>Head Start Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	CHILDRENS HOSPITAL	00031	880255	264346	10/20/16	2,467.50
	CHILDRENS HOSPITAL	00031	880256	264346	10/20/16	1,890.00
	MEADOW GOLD DAIRY	00031	880350	264405	10/21/16	160.20
	MEADOW GOLD DAIRY	00031	880351	264405	10/21/16	41.55
	MEADOW GOLD DAIRY	00031	880352	264405	10/21/16	138.50
	SYSCO DENVER	00031	880349	264405	10/21/16	1,052.76
					Account Total	<u>5,750.51</u>
					Department Total	<u><u>5,750.51</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>1015</u>	<u>Human Resources- Admin</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Insurance Premiums					
	KAISER PERMANENTE	00001	879943	264173	10/17/16	8,250.00
	ROCKY MTN HEALTH PLAN	00001	879948	264173	10/17/16	850.00
	SECURE HORIZONS	00001	879945	264173	10/17/16	1,500.00
	UNITED HEALTHCARE	00001	879950	264173	10/17/16	5,850.00
					Account Total	<u>16,450.00</u>
					Department Total	<u><u>16,450.00</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>935116</u>	<u>HHS Grant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Consultant Services					
	MEGAN THOMAS NUTRITION CONSULT	00031	879701	263963	10/12/16	735.00
					Account Total	735.00
	Education & Training					
	ARELLANO ISEBEL	00031	879660	263963	10/12/16	169.00
	EVOLUER CONSULTING LLC	00031	879683	263963	10/12/16	1,455.30
	EVOLUER CONSULTING LLC	00031	879683	263963	10/12/16	434.70
	HR ADVANTAGE GROUP LLC	00031	879688	263963	10/12/16	2,818.20
	HR ADVANTAGE GROUP LLC	00031	879688	263963	10/12/16	841.80
	LUJAN MONICA	00031	879699	263963	10/12/16	169.00
	RAMIREZ SUSANA	00031	879714	263963	10/12/16	169.00
	WALMSLEY NATASHA	00031	879722	263963	10/12/16	169.00
	YANEZ ARTURO	00031	879727	263963	10/12/16	169.00
					Account Total	6,395.00
	Medical Services					
	COLO OCCUPATIONAL MEDICINE PHY	00031	880092	264234	10/18/16	150.00
					Account Total	150.00
	Mileage Reimbursements					
	ANDERSON ISABEL	00031	880158	264294	10/19/16	11.50
	BOWDRY CYNTHIA	00031	880083	264234	10/18/16	16.74
	BOWDRY CYNTHIA	00031	880084	264234	10/18/16	9.18
	BRAGGS- JONES SHONDRELA	00031	879662	263963	10/12/16	105.30
	CHAVEZ MARIA M	00031	879678	263963	10/12/16	16.20
	CHAVEZ MARIA M	00031	879679	263963	10/12/16	16.20
	CHAVEZ MARIA M	00031	879681	263963	10/12/16	1.62
	FARSTER NARLESKY PENNY	00031	879684	263963	10/12/16	64.26
	HAFFKE HEATHER	00031	879731	263963	10/12/16	20.52
	HAGER MICHAEL	00031	879693	263963	10/12/16	79.92
	HAGER MICHAEL	00031	879695	263963	10/12/16	28.08
	HERHOLD MARK	00031	879696	263963	10/12/16	28.62
	HOWARD ALICIA	00031	880094	264234	10/18/16	24.14
	LANDEROS BRENDA	00031	880096	264234	10/18/16	25.38
	LANDEROS BRENDA	00031	880097	264234	10/18/16	22.14
	LILLIE SHANNON	00031	879697	263963	10/12/16	11.72
	MARTINEZ VICKY MORALES	00031	880098	264234	10/18/16	18.90

**County of Adams**  
**Vendor Payment Report**

<u>935116</u>	<u>HHS Grant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	MARTINEZ VICKY MORALES	00031	880099	264234	10/18/16	24.30
	MARTINEZ VICKY MORALES	00031	880100	264234	10/18/16	17.28
	NAJEE-ULLAH NAJLA	00031	879702	263963	10/12/16	57.24
	NAJEE-ULLAH NAJLA	00031	879704	263963	10/12/16	9.72
	OLIVER LESLIE	00031	879707	263963	10/12/16	65.88
	OLIVER LESLIE	00031	879709	263963	10/12/16	28.08
	ORTIZ REBECCA T	00031	879713	263963	10/12/16	35.96
	REED ALMA	00031	880101	264234	10/18/16	31.32
	RODRIGUEZ JAMIE	00031	879715	263963	10/12/16	27.54
	RODRIGUEZ JAMIE	00031	879717	263963	10/12/16	18.90
	RODRIGUEZ JAMIE	00031	879718	263963	10/12/16	28.62
	RODRIGUEZ JAMIE	00031	879719	263963	10/12/16	23.22
	SANCHEZ MARITZA	00031	879720	263963	10/12/16	30.24
	SANDOVAL GABRIELLA	00031	880102	264234	10/18/16	59.94
	STEELMAN MARU E	00031	879721	263963	10/12/16	38.66
	VOCK ELIZABETH CLAIRE	00031	880103	264234	10/18/16	36.72
	WALMSLEY NATASHA	00031	879724	263963	10/12/16	44.28
	YANEZ ARTURO	00031	879728	263963	10/12/16	42.71
					Account Total	1,121.03
	Operating Supplies					
	G & K SERVICES	00031	879686	263963	10/12/16	122.98
	G & K SERVICES	00031	880093	264234	10/18/16	122.98
	L & N SUPPLY COMPANY INC	00031	880095	264234	10/18/16	632.70
					Account Total	878.66
	Other Professional Serv					
	ADAMS COUNTY SHERIFF DEPT	00031	880080	264234	10/18/16	5.00
	ADAMS COUNTY SHERIFF DEPT	00031	880081	264234	10/18/16	5.00
	COLO DEPT OF HUMAN SERVICES	00031	880087	264234	10/18/16	28.00
	COLO DEPT OF HUMAN SERVICES	00031	880088	264234	10/18/16	28.00
	ORKIN PEST CONTROL	00031	879711	263963	10/12/16	83.80
	ORKIN PEST CONTROL	00031	879712	263963	10/12/16	86.07
					Account Total	235.87
	Printing External					
	COPYCO QUALITY PRINTING INC	00031	880089	264234	10/18/16	65.00
	COPYCO QUALITY PRINTING INC	00031	880090	264234	10/18/16	65.00

**County of Adams**  
**Vendor Payment Report**

<u>935116</u>	<u>HHS Grant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	COPYCO QUALITY PRINTING INC	00031	880091	264234	10/18/16	65.00
					Account Total	195.00
	Subscrip/Publications					
	NULINX INTERNATIONAL	00031	879706	263963	10/12/16	697.00
	NULINX INTERNATIONAL	00031	879706	263963	10/12/16	123.00
					Account Total	820.00
	Telephone					
	CENTURY LINK	00031	879664	263963	10/12/16	347.04
	CENTURY LINK	00031	879667	263963	10/12/16	125.92
	CENTURY LINK	00031	879669	263963	10/12/16	97.52
	CENTURY LINK	00031	879670	263963	10/12/16	1,118.51
	CENTURY LINK	00031	880085	264234	10/18/16	149.76
	CENTURY LINK	00031	880086	264234	10/18/16	110.90
	CENTURYLINK	00031	879676	263963	10/12/16	19.24
					Account Total	1,968.89
					Department Total	12,499.45



**County of Adams**  
**Vendor Payment Report**

<u>961016</u>	<u>HOME</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	ADAMS COUNTY HOUSING AUTHORITY	00030	880322	264363	10/20/16	<u>13,567.49</u>
					Account Total	<u>13,567.49</u>
					Department Total	<u><u>13,567.49</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>1034</u>	<u>HR- Social Services</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	LIPSEY SEAN	00001	880051	264190	10/17/16	<u>145.80</u>
					Account Total	<u>145.80</u>
					Department Total	<u><u>145.80</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>935616</u>	<u>HS CACFP</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Food Supplies					
	WALMSLEY NATASHA	00031	879723	263963	10/12/16	<u>10.17</u>
					Account Total	<u>10.17</u>
					Department Total	<u><u>10.17</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>8613</u>	<u>Insurance - UHC EPO Medical</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Administration Fee					
	UNITED HEALTHCARE	00019	879954	264173	10/17/16	98.88
					Account Total	98.88
	Insurance Premiums					
	UNITED HEALTHCARE	00019	879954	264173	10/17/16	146.46
					Account Total	146.46
					Department Total	245.34

**County of Adams**  
**Vendor Payment Report**

<u>8612</u>	<u>Insurance - UHC POS Medical</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Administration Fee					
	UNITED HEALTHCARE	00019	879954	264173	10/17/16	49.44
					Account Total	49.44
	Insurance Premiums					
	UNITED HEALTHCARE	00019	879954	264173	10/17/16	73.23
					Account Total	73.23
					Department Total	122.67

**County of Adams**  
**Vendor Payment Report**

<u>8622</u>	<u>Insurance -Benefits &amp; Wellness</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Administration Fee					
	KAISER PERMANENTE	00019	879944	264173	10/17/16	<u>104.40</u>
					Account Total	<u>104.40</u>
					Department Total	<u><u>104.40</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>19</u>	<u>Insurance Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	CAREHERE LLC	00019	879959	264161	10/17/16	2,690.03
	CAREHERE LLC	00019	879959	264161	10/17/16	8,285.51
	CAREHERE LLC	00019	879959	264161	10/17/16	2,053.88
	CAREHERE LLC	00019	879959	264161	10/17/16	26,546.74
	CAREHERE LLC	00019	879959	264161	10/17/16	141.36
					Account Total	39,717.52
	Retiree Med - Kaiser					
	KAISER PERMANENTE	00019	879942	264173	10/17/16	71,198.16
					Account Total	71,198.16
	Retiree Med - Pacificare					
	SECURE HORIZONS	00019	879946	264173	10/17/16	15,417.81
					Account Total	15,417.81
	Retiree Med - RMHP Metro Area					
	ROCKY MTN HEALTH PLAN	00019	879947	264173	10/17/16	4,555.50
					Account Total	4,555.50
					Department Total	130,888.99

**County of Adams**  
**Vendor Payment Report**

<u>8614</u>	<u>Insurance- Delta Dental</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Administration Fee					
	DELTA DENTAL PLAN OF COLO	00019	879956	264173	10/17/16	122.36
					Account Total	<u>122.36</u>
	Ins Premium Dental-Delta					
	DELTA DENTAL PLAN OF COLO	00019	879953	264173	10/17/16	10,642.50
	DELTA DENTAL PLAN OF COLO	00019	879956	264173	10/17/16	322.24
	ESTATE OF BERNICE MARTINEZ	00019	880334	264401	10/21/16	36.85
					Account Total	<u>11,001.59</u>
					Department Total	<u><u>11,123.95</u></u>



**County of Adams**  
**Vendor Payment Report**

<u>8615</u>	<u>Insurance- UHC Retiree Medical</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Administration Fee					
	UNITED HEALTHCARE	00019	879941	264173	10/17/16	2,620.32
	UNITED HEALTHCARE	00019	879941	264173	10/17/16	346.08
	UNITED HEALTHCARE	00019	879941	264173	10/17/16	49.44
					Account Total	3,015.84
	AARP RX					
	ESTATE OF BERNICE MARTINEZ	00019	880334	264401	10/21/16	71.00
	UNITED HEALTHCARE	00019	879951	264173	10/17/16	10,400.70
					Account Total	10,471.70
	Insurance Premiums					
	UNITED HEALTHCARE	00019	879941	264173	10/17/16	3,881.19
	UNITED HEALTHCARE	00019	879941	264173	10/17/16	512.61
	UNITED HEALTHCARE	00019	879941	264173	10/17/16	73.23
					Account Total	4,467.03
	UHC_MED					
	ESTATE OF BERNICE MARTINEZ	00019	880334	264401	10/21/16	175.00
	UNITED HEALTHCARE	00019	879949	264173	10/17/16	24,431.59
					Account Total	24,606.59
					Department Total	42,561.16

**County of Adams**  
**Vendor Payment Report**

<u>8623</u>	<u>Insurance- Vision</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Ins. Premium-Vision					
	VISION SERVICE PLAN-CONNECTICU	00019	879955	264173	10/17/16	4.32
					Account Total	4.32
	Self-Insurance Claims					
	VISION SERVICE PLAN-CONNECTICU	00019	879957	264173	10/17/16	14,542.53
					Account Total	14,542.53
					Department Total	<u>14,546.85</u>

**County of Adams**  
**Vendor Payment Report**

<u>1056</u>	<u>IT Help Desk &amp; Servers</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Temporary Labor					
	VINCENTBENJAMIN DENVER CONSULT	00001	879936	264165	10/17/16	1,344.75
	VINCENTBENJAMIN DENVER CONSULT	00001	879937	264165	10/17/16	1,320.00
					Account Total	<u>2,664.75</u>
					Department Total	<u><u>2,664.75</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>1058</u>	<u>IT Network/Telecom</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Computer Equipment					
	KENNY ELECTRIC SERVICE INC	00001	880110	264240	10/18/16	294.00
					Account Total	294.00
	ISP Services					
	ZAYO GROUP HOLDINGS INC	00001	880281	264346	10/20/16	.44
					Account Total	.44
	Other Professional Serv					
	COMMUNICATION CONSTRUCTION & E	00001	880111	264240	10/18/16	1,750.00
	UTILITY NOTIFICATION CENTER OF	00001	880112	264240	10/18/16	214.50
					Account Total	1,964.50
	Telephone					
	TDS TELECOM	00001	880113	264240	10/18/16	1,115.65
					Account Total	1,115.65
					Department Total	<u>3,374.59</u>

**County of Adams**  
**Vendor Payment Report**

<u>1081</u>	<u>Long Range Strategic Planning</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	BACON RACHEL	00001	880233	264345	10/20/16	92.34
	BACON RACHEL	00001	880234	264345	10/20/16	75.06
					Account Total	<u>167.40</u>
	Travel & Transportation					
	BACON RACHEL	00001	880052	264190	10/17/16	82.00
	WISNER LORI	00001	880053	264190	10/17/16	82.00
					Account Total	<u>164.00</u>
					Department Total	<u><u>331.40</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>93511</u>	<u>MISC PROJECTS</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	ANDREWS PRODUCE INC	00031	880058	263963	10/17/16	<u>215.95</u>
					Account Total	<u>215.95</u>
					Department Total	<u><u>215.95</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>6107</u>	<u>Open Space Projects</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	UNITED POWER (UNION REA)	00027	879856	264086	10/14/16	<u>20.00</u>
					Account Total	<u>20.00</u>
					Department Total	<u><u>20.00</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>6201</u>	<u>Open Space Tax- Admin</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	MCDOWELL SHANNON	00028	880133	264249	10/18/16	<u>89.10</u>
					Account Total	<u>89.10</u>
					Department Total	<u><u>89.10</u></u>



**County of Adams**  
**Vendor Payment Report**

<u>1111</u>	<u>Parks Facilities</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	TRAUTMAN & SHREVE INC	00001	880216	264342	10/19/16	6,335.84
					Account Total	<u>6,335.84</u>
	Gas & Electricity					
	Energy Cap Bill ID=6666	00001	879846	264085	09/29/16	5,363.53
	Energy Cap Bill ID=6667	00001	879847	264085	09/29/16	1,502.40
	Energy Cap Bill ID=6671	00001	879848	264085	09/27/16	92.93
					Account Total	<u>6,958.86</u>
	Maintenance Contracts					
	SPECTRA CONTRACT FLOORING SERV	00001	880222	264342	10/19/16	380.00
					Account Total	<u>380.00</u>
					Department Total	<u><u>13,674.70</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>5010</u>	<u>PKS- Fair &amp; Special Events</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Regional Park Rentals					
	ARMENDARIZ MARIA	00001	879851	264086	10/14/16	75.00
	MILE HIGH GAITED HORSE CLUB	00001	879854	264086	10/14/16	500.00
					Account Total	<u>575.00</u>
					Department Total	<u><u>575.00</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>5015</u>	<u>PKS- Grounds Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	REPUBLIC SERVICES #535	00001	879855	264086	10/14/16	2,554.80
					Account Total	2,554.80
	Other Repair & Maint					
	HYDRO RESOURCES	00001	879853	264086	10/14/16	2,061.41
					Account Total	2,061.41
					Department Total	4,616.21

**County of Adams**  
**Vendor Payment Report**

<u>5018</u>	<u>PKS- Natural Resources Program</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Travel & Transportation					
	CLARK AARON	00001	880230	264345	10/20/16	<u>241.00</u>
					Account Total	<u>241.00</u>
					Department Total	<u><u>241.00</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>5012</u>	<u>PKS- Regional Complex</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	G & K SERVICES	00001	879852	264086	10/14/16	<u>181.30</u>
					Account Total	<u>181.30</u>
					Department Total	<u><u>181.30</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>5016</u>	<u>PKS- Trail Ranger Patrol</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	XCEL ENERGY	00001	879857	264086	10/14/16	495.73
	XCEL ENERGY	00001	879858	264086	10/14/16	23.28
	XCEL ENERGY	00001	879859	264086	10/14/16	160.89
	XCEL ENERGY	00001	879860	264086	10/14/16	20.95
	XCEL ENERGY	00001	879861	264086	10/14/16	60.29
					Account Total	<u>761.14</u>
					Department Total	<u><u>761.14</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>1082</u>	<u>PLN- Development Review</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Travel & Transportation					
	BARNES JULIUS	00001	880342	264401	10/21/16	123.00
	GREENLAND JOELLE	00001	880344	264401	10/21/16	82.00
	SULLIVAN KRISTIN	00001	880333	264401	10/21/16	62.00
	TABACHINICK LAURIE	00001	880343	264401	10/21/16	82.00
					Account Total	349.00
					Department Total	349.00

**County of Adams**  
**Vendor Payment Report**

<u>8624</u>	<u>Retiree-Vision</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Ins. Premium-Vision					
	ESTATE OF BERNICE MARTINEZ	00019	880334	264401	10/21/16	4.99
	VISION SERVICE PLAN-CONNECTICU	00019	879952	264173	10/17/16	381.60
					Account Total	386.59
	Self-Insurance Claims					
	VISION SERVICE PLAN-CONNECTICU	00019	879958	264173	10/17/16	1,191.45
					Account Total	1,191.45
					Department Total	1,578.04



**County of Adams**  
**Vendor Payment Report**

<u>13</u>	<u>Road &amp; Bridge Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	ALBERT FREI & SONS INC	00013	880027	264161	10/17/16	16,444.95
	ALBERT FREI & SONS INC	00013	880033	264161	10/17/16	7,524.14
	ASPHALT SPECIALTIES CO INC	00013	880035	264161	10/17/16	713.90
	ASPHALT SPECIALTIES CO INC	00013	880036	264161	10/17/16	774.06
	BRANNAN SAND & GRAVEL COMPANY	00013	880038	264161	10/17/16	702.74
	CDL COLLEGE	00013	880347	264405	10/21/16	1,000.00
	CDL COLLEGE	00013	880347	264405	10/21/16	500.00
	DREXEL BARRELL & CO	00013	879969	264161	10/17/16	2,051.75
	DREXEL BARRELL & CO	00013	879974	264161	10/17/16	27,119.62
	EP&A ENVIROTAC INC	00013	880348	264405	10/21/16	22,408.75
	GMCO CORPORATION	00013	880039	264161	10/17/16	6,856.16
	H&A CONCRETE SAWING INC	00013	880253	264346	10/20/16	159,581.17
	HUITT-ZOLLARS INC	00013	879971	264161	10/17/16	490.00
	HUITT-ZOLLARS INC	00013	879972	264161	10/17/16	350.00
	OUTTA CONTROL DESIGNS	00013	880346	264405	10/21/16	3,755.00
	OUTTA CONTROL DESIGNS	00013	880346	264405	10/21/16	274.80
	UNION PACIFIC RAILROAD COMPANY	00013	880040	264161	10/17/16	2,854.06
					Account Total	253,401.10
	Retainages Payable					
	H&A CONCRETE SAWING INC	00013	880253	264346	10/20/16	7,979.06-
					Account Total	7,979.06-
					Department Total	<u>245,422.04</u>

**County of Adams**  
**Vendor Payment Report**

<u>97711</u>	<u>Sectors NEG Program</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Clnt Trng-Background Checks					
	MORPHO TRUST USA LLC	00035	880149	264287	10/19/16	<u>86.50</u>
					Account Total	<u>86.50</u>
					Department Total	<u><u>86.50</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>2014</u>	<u>Sheriff-Professional Standards</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	E470 PUBLIC HIGHWAY AUTHORITY	00001	879885	264109	10/14/16	<u>7.40</u>
					Account Total	<u>7.40</u>
					Department Total	<u><u>7.40</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>2011</u>	<u>SHF- Admin Services Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	E470 PUBLIC HIGHWAY AUTHORITY	00001	879885	264109	10/14/16	<u>7.40</u>
					Account Total	<u>7.40</u>
					Department Total	<u><u>7.40</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>2015</u>	<u>SHF- Civil Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Sheriff's Fees					
	ALMAZOORY AHMED	00001	880144	264279	10/19/16	66.00
	DAMON BRETT M	00001	879903	264115	10/14/16	19.00
	DULANTO ERIKA	00001	879904	264115	10/14/16	19.00
	FORD VIVA	00001	879905	264115	10/14/16	4.00
	JOHNSON TIMOTHY JOSEPH	00001	880145	264279	10/19/16	44.00
	KANE MICHAEL T	00001	879906	264115	10/14/16	19.00
	KLASS PHILIP	00001	880138	264279	10/19/16	66.00
	LOYD HODGE AND SONS INC	00001	879899	264115	10/14/16	66.00
	MACHOL & JOHANNES, LLC	00001	879900	264115	10/14/16	19.00
	MACHOL & JOHANNES, LLC	00001	880139	264279	10/19/16	19.00
	RUIZ ESMERALDA	00001	880140	264279	10/19/16	66.00
	SANCHEZ ELIJAH	00001	879907	264115	10/14/16	19.00
	SCOFIELD AMBER	00001	880146	264279	10/19/16	19.00
	SPRINGMAN, BRADEN, WILSON & PO	00001	879901	264115	10/14/16	66.00
	TSCHETTER HAMRICK SULZER	00001	880147	264279	10/19/16	2,904.00
	VARGO & JANSON, P.C.	00001	879902	264115	10/14/16	19.00
					Account Total	<u>3,434.00</u>
					Department Total	<u><u>3,434.00</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>2016</u>	<u>SHF- Detective Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	E470 PUBLIC HIGHWAY AUTHORITY	00001	879885	264109	10/14/16	<u>11.10</u>
					Account Total	<u>11.10</u>
					Department Total	<u><u>11.10</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>2071</u>	<u>SHF- Detention Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	ADAMS COUNTY DETENTION FACILIT	00001	879884	264109	10/14/16	141.37
	E470 PUBLIC HIGHWAY AUTHORITY	00001	879885	264109	10/14/16	40.70
	E470 PUBLIC HIGHWAY AUTHORITY	00001	879885	264109	10/14/16	30.00
					Account Total	212.07
	Other Communications					
	SPOK INC	00001	879886	264109	10/14/16	363.35
					Account Total	363.35
					Department Total	575.42

**County of Adams**  
**Vendor Payment Report**

<u>2003</u>	<u>SHF- Misc Small \$ Grants</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	THORNTON CITY OF	00001	879887	264109	10/14/16	<u>19,384.00</u>
					Account Total	<u>19,384.00</u>
					Department Total	<u><u>19,384.00</u></u>



**County of Adams**  
**Vendor Payment Report**

<u>2017</u>	<u>SHF- Patrol Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	SPOK INC	00001	879886	264109	10/14/16	<u>1,413.88</u>
					Account Total	<u>1,413.88</u>
					Department Total	<u><u>1,413.88</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>9114</u>	<u>Transportation Fleet- Commerce</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Uniforms & Cleaning					
	PATRIDGE CHRISTOPHER	00006	880231	264345	10/20/16	335.98
					Account Total	335.98
	Vehicle Repair & Maint					
	JB AUTO CLEAN	00006	879415	263799	10/07/16	80.00
					Account Total	80.00
					Department Total	<u>415.98</u>

**County of Adams**  
**Vendor Payment Report**

<u>3031</u>	<u>Transportation Opers &amp; Maint</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Debris Removal					
	METECH RECYCLING	00013	879875	264097	10/14/16	1,200.59
					Account Total	1,200.59
	Dust Abatement					
	WAYNE A MITCHELL LLC	00013	879872	264097	10/14/16	2,277.00
					Account Total	2,277.00
	Operating Supplies					
	COLUMBINE PAPER & MAINTENANCE	00013	879873	264097	10/14/16	170.59
	POLAR REFRIGERATION COMPANY	00013	879874	264097	10/14/16	200.00
					Account Total	370.59
	Other Professional Serv					
	DAVEY TREE EXPERT CO	00013	879876	264099	10/14/16	1,400.00
					Account Total	1,400.00
					Department Total	5,248.18

**County of Adams**  
**Vendor Payment Report**

<u>9291</u>	<u>Veterans Service Office</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Postage & Freight					
	ADCO HUMAN SERVICES DEPT	00001	880135	264249	10/18/16	<u>169.77</u>
					Account Total	<u>169.77</u>
					Department Total	<u><u>169.77</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>97800</u>	<u>Wagner-Peyser</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	CASTILLO MARIA	00035	880132	264249	10/18/16	<u>51.84</u>
					Account Total	<u>51.84</u>
					Department Total	<u><u>51.84</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>25</u>	<u>Waste Management Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	QUANTUM WATER CONSULTING	00025	880353	264405	10/21/16	<u>40,081.67</u>
					Account Total	<u>40,081.67</u>
					Department Total	<u><u>40,081.67</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>4400</u>	<u>Wastewater Treatment Plant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Laboratory Analysis					
	COLO ANALYTICAL LABORATORY	00044	880077	264232	10/18/16	26.00
	COLO ANALYTICAL LABORATORY	00044	880078	264232	10/18/16	17.50
					Account Total	<u>43.50</u>
					Department Total	<u><u>43.50</u></u>

**County of Adams**  
**Vendor Payment Report**

<u>97500</u>	<u>WIA YOUTH OLDER</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Supp Svcs-Incentives					
	JURGENS ALYSSA	00035	880148	264287	10/19/16	<u>50.00</u>
					Account Total	<u>50.00</u>
					Department Total	<u><u>50.00</u></u>



**County of Adams**  
**Vendor Payment Report**

**Grand Total**      1,243,981.22

**MINUTES OF COMMISSIONERS' PROCEEDINGS FOR  
TUESDAY, OCTOBER 25, 2016**

1. ROLL CALL

Present: All Commissioners present.

Excused:

2. PLEDGE OF ALLEGIANCE

3. MOTION TO APPROVE AGENDA (09:12 AM)

**Motion to Approve 3. MOTION TO APPROVE AGENDA Moved by Jan Pawlowski, seconded by Eva J. Henry, unanimously carried.**

4. AWARDS AND PRESENTATIONS (09:13 AM)

5. PUBLIC COMMENT (09:13 AM)

A. Citizen Communication

A total of 30 minutes is allocated at this time for public comment and each speaker will be limited to 3 minutes. If there are additional requests from the public to address the Board, time will be allocated at the end of the meeting to complete public comment. The chair requests that there be no public comment on issues for which a prior public hearing has been held before this Board.

B. Elected Officials' Communication (09:15 AM)

6. CONSENT CALENDAR (09:16 AM)

A. 16-764 List of Expenditures Under the Dates of October 10-14, 2016

B. 16-781 Minutes of the Commissioners' Proceedings from October 18, 2016

C. 16-767 Adams County Public Trustee Operational Expense for the Quarter Ending September 2016

D. 16-735 Resolution Approving Amendment Number Two to the Fukaye Farm Land Lease Between Star Farms, Inc., and Adams County

E. 16-758 Resolution Approving Adams County Head Start Carry-Over of Head Start Funds in the Amount of \$150,000 from the 2016 to the 2017 Fiscal Year

F. 16-759 Resolution Approving Ambulance Service License for Strasburg Fire Protection District 8

G. 16-760 Resolution Approving Ambulance Service License for Platte Valley Ambulance Service

H. 16-761 Resolution Approving Ambulance Service License for Western Ambulance Inc.

I. 16-762 Resolution Approving Ambulance Service License for Bennett Fire Protection District #7

J. 16-763 Resolution Approving Certificate and Statement of Authority & Truth of Application between Adams County Head Start and the Colorado Department of Public Health & Environment Child and Adult Care Food Program

K. 16-775 Resolution Approving Submittal of Great Outdoors Colorado Trust Fund (GOCO) Protect Initiative Grant Application for the Willow Bay Acquisition

**Motion to Approve 6. CONSENT CALENDAR Moved by Jan Pawlowski, seconded by Eva J. Henry, unanimously carried.**

7. NEW BUSINESS

A. COUNTY MANAGER

1. 16-765 Resolution Accepting a Proposal and Awarding an Agreement to Mark Young Construction to Remodel the Assessor's Offices (09:17 AM)

**Motion to Approve 1. 16-765 Resolution Accepting a Proposal and Awarding an Agreement to Mark Young Construction to Remodel the Assessor's Offices Moved by Charles "Chaz" Tedesco, seconded by Jan Pawlowski, unanimously carried.**

2. 16-766 Resolution Accepting a Proposal from and Awarding an Agreement to Jviation, Inc., for Consultant and Engineering Services (09:19 AM)

**Motion to Approve 2. 16-766 Resolution Accepting a Proposal from and Awarding an Agreement to Jviation, Inc., for Consultant and Engineering Services Moved by Jan Pawlowski, seconded by Charles "Chaz" Tedesco, passed with a roll call vote 4:1.**

B. COUNTY ATTORNEY (09:22 AM)

8. ADJOURNMENT (09:22 AM)

AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE



## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> November 1, 2016
<b>SUBJECT:</b> APPOINTMENTS TO COMMUNITY CORRECTIONS BOARD
<b>FROM:</b> LINDA ANGELL
<b>AGENCY/DEPARTMENT:</b> COMMUNITY CORRECTIONS
<b>HEARD AT STUDY SESSION ON</b> N/A
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners Approves the appointments of Captain Gene Claps and Jenifer Morgen to the Adams County Community Corrections Board.

### **BACKGROUND:**

There are currently two vacancies on the Adams County Community Corrections Board. The Community Corrections bylaws require representation from Probation and Law Enforcement.

Commander Chris Laws retired and it is the desire of the Adams County Sheriff's office to have Captain Gene Claps fulfill the remaining term of Commander Laws. The term expires on 01/31/19.

Mr. Mike Garcia, former Chief Probation Officer for the 17<sup>th</sup> Judicial District, resigned to take a new position for the State Probation Department. It is the desire of the Probation Department to have Ms. Jenifer Morgen, new Chief Probation Officer for the 17<sup>th</sup> Judicial District, fulfill the remaining term of Mike Garcia. Mr. Garcia's term expires on 01/31/17.

The Adams County Community Corrections Board is recommending the appointment of these two candidates.

### **AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Adams County Community Corrections Board  
Probation Department  
Sheriff's Department

**ATTACHED DOCUMENTS:**

Resolutions

Recommendation Letter

**FISCAL IMPACT:**

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

<b>Fund:</b>
<b>Cost Center:</b>

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			<hr/> <hr/>

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<hr/> <hr/>

New FTEs requested:             YES             NO

Future Amendment Needed:     YES             NO

**Additional Note:**

BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPOINTING CAPTAIN GENE CLAPS AS A MEMBER TO THE  
COMMUNITY CORRECTIONS BOARD

Resolution No. \_\_\_\_\_

WHEREAS, a vacancy currently exists for a member for the Community Corrections Board; and,

WHEREAS, Gene Claps, Captain, Adams County Sheriff's Office, has expressed an interest in serving on the Community Corrections Board; and,

WHEREAS, the Board of County Commissioners deemed Captain Claps qualified; and,

WHEREAS, the Board of County Commissioners selected Captain Claps to fill this vacancy.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Captain Claps shall be appointed as a member of the Community Corrections Board.

Captain Gene Claps

Term Expires  
01/31/2019



# ADAMS COUNTY SHERIFF

**Michael T. McIntosh, Sheriff**  
SheriffMcIntosh@adcogov.org

**Harold Lawson, Undersheriff**  
UndersheriffLawson@adcogov.org

Roger Kelley, Division Chief  
Adams County Sheriff's Office, Jail Division  
150 N 19<sup>th</sup> Ave.  
Brighton, CO 80601  
May 24, 2016

Linda Angell  
Community Corrections Coordinator  
4430 South Adams County Parkway C1900  
Brighton, CO 80601

Dear Linda Angell:

Please accept this letter as my recommendation for Captain Gene Claps to replace Commander Chris Laws on the Community Corrections Board.

Commander Laws has announced his intent to retire from the Adams County Sheriff's Office and his last day will be the end of May 2016. Captain Gene Claps has 19 years of experience with the Adams County Sheriff's Office and he has expressed interest in participating on the Community Corrections Board.

Captain Claps started his career with the Adams County Sheriff's Office in January of 1997. His career progression has allowed him the opportunity to be assigned to the Jail Division, Patrol Division and Detective Division. Those assignments afforded him the experience that comes from a variety of duties such as a Field Training Officer, Homicide Detective and a member of the Adams County Critical Incident Team. He has served in a command role at the Adams County Jail since January of 2015 and he currently holds the rank of Jail Division Captain. He currently oversees a wide variety of operational tasks and administrative duties. I am certain that Captain Claps' knowledge of the judicial system, court processes, and criminal law would make him a great asset to the Community Corrections Board.

Thank you for your consideration,

Roger Kelley, Division Chief

**Headquarters**

332 N. 19th Avenue  
Brighton, CO 80601  
(303) 655-3210

[facebook.com/AdamsSheriffCO](https://www.facebook.com/AdamsSheriffCO)

**Detective & Patrol Divisions**

4201 East 72nd Avenue, Suite C  
Commerce City, CO 80022  
(720) 322-1313

[www.AdamsSheriff.org](http://www.AdamsSheriff.org)

**Jail Division**

150 North 19th Avenue  
Brighton, CO 80601  
(303) 654-1850

**Flatrock Training**

23600 East 128th Avenue  
Commerce City, CO 80022  
(720) 523-7500

[facebook.com/Flatrocktraining](https://www.facebook.com/Flatrocktraining)





## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> November 1, 2016
<b>SUBJECT:</b> APPOINTMENTS TO COMMUNITY CORRECTIONS BOARD
<b>FROM:</b> LINDA ANGELL
<b>AGENCY/DEPARTMENT:</b> COMMUNITY CORRECTIONS
<b>HEARD AT STUDY SESSION ON</b> N/A
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners Approves the appointments of Captain Gene Claps and Jenifer Morgen to the Adams County Community Corrections Board.

### **BACKGROUND:**

There are currently two vacancies on the Adams County Community Corrections Board. The Community Corrections bylaws require representation from Probation and Law Enforcement.

Commander Chris Laws retired and it is the desire of the Adams County Sheriff's office to have Captain Gene Claps fulfill the remaining term of Commander Laws. The term expires on 01/31/19.

Mr. Mike Garcia, former Chief Probation Officer for the 17<sup>th</sup> Judicial District, resigned to take a new position for the State Probation Department. It is the desire of the Probation Department to have Ms. Jenifer Morgen, new Chief Probation Officer for the 17<sup>th</sup> Judicial District, fulfill the remaining term of Mike Garcia. Mr. Garcia's term expires on 01/31/17.

The Adams County Community Corrections Board is recommending the appointment of these two candidates.

### **AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Adams County Community Corrections Board  
Probation Department  
Sheriff's Department

**ATTACHED DOCUMENTS:**

Resolutions  
Letters of Interest

**FISCAL IMPACT:**

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

<b>Fund:</b>
<b>Cost Center:</b>

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			<hr/> <hr/>

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<hr/> <hr/>

New FTEs requested:             YES             NO

Future Amendment Needed:     YES             NO

**Additional Note:**

BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPOINTING JENIFER MORGEN AS A MEMBER TO THE  
COMMUNITY CORRECTIONS BOARD

Resolution No. \_\_\_\_\_

WHEREAS, a vacancy currently exists for a member for the Community Corrections Board; and,

WHEREAS, Jenifer Morgen, Chief Probation Officer of the 17<sup>th</sup> Judicial District, has expressed an interest in serving on the Community Corrections Board; and,

WHEREAS, the Board of County Commissioners deemed Jenifer Morgen qualified; and,

WHEREAS, the Board of County Commissioners selected Jenifer Morgen to fill this vacancy.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Jenifer Morgen shall be appointed as a member of the Community Corrections Board.

Jenifer Morgen

Term Expires  
01/31/2017

## Linda Angell

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**From:** morgen, jenifer [jenifer.morgen@judicial.state.co.us]  
**Sent:** Tuesday, July 26, 2016 1:47 PM  
**To:** Linda Angell  
**Subject:** RE: 2016 CCB SCHEDULE

Hi, Linda. Thanks very much for the email. I am interested in being the Probation representative to the Community Corrections Board. Please let me know if this request is approved. I look forward to seeing you soon!

Jenifer Morgen  
Chief Probation Officer  
17<sup>th</sup> Judicial District  
Office (303) 255-4226  
FAX (303) 452-7995

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**From:** Linda Angell [mailto:LAngell@adcogov.org]  
**Sent:** Thursday, July 21, 2016 9:31 AM  
**To:** morgen, jenifer  
**Subject:** 2016 CCB SCHEDULE

Hello Jenifer, welcome! Hopefully you are taking over Mike's term on the Community Corrections Board. Board members are appointed by Commissioners and are appointed for 3 year-terms. Can you provide just a very short letter/email advising that you are interested in being the representative from Probation to the Community Corrections Board? I have attached the Board meeting schedule for your reference. We meet the first Tuesday of each month at 12:00 (lunch provided), typically at the Adams County Detention Facility but this upcoming meeting we will be meeting at the Time to Change program located in Commerce City; 4901 Krameria St., 80022. Let me know if you have any questions or would like any background materials (you already know significantly more about Community Corrections than many of our members). You will bring a great deal of knowledge and balance to our Board. I look forward to working more closely with you.



### Linda Angell

Administrator, Community Corrections  
4430 S. Adams County Parkway, 1st Floor, Suite C1900  
Brighton, CO 80601-8204  
P. 720.523.7203 / F. 720-523-7201 | [langell@adcogov.org](mailto:langell@adcogov.org)



## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> November 1, 2016
<b>SUBJECT:</b> Adams County Workforce Development Board Bylaws Revisions
<b>FROM:</b> Chris Kline, Director
<b>AGENCY/DEPARTMENT:</b> Human Services Department
<b>HEARD AT STUDY SESSION ON</b>
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners Approve revisions.

### **BACKGROUND:**

The Adams County Workforce Development Board reviews their bylaws on an annual basis to incorporate decisions made in the previous year, assure continued alignment with federal & state regulations, and alignment with the Workforce Innovation and Opportunity Act of 2014. The proposed revisions address creation of the Career Pathways Sub-committee, administrative duty assignment to the Workforce & Business Center (under recommendation of the Colorado Department of Labor and Employment), voting clarification, and correct minor grammatical errors.

### **AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Workforce and Business Center

### **ATTACHED DOCUMENTS:**

2016 WDB Resolution Bylaws  
2016 WDB Bylaws

**FISCAL IMPACT:**

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

<b>Fund:</b>
<b>Cost Center:</b>

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			<hr/> <hr/>

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<hr/> <hr/>

New FTEs requested:             YES             NO

Future Amendment Needed:     YES             NO

**Additional Note:**

**RESOLUTION APPROVING CHANGES TO THE ADAMS COUNTY WORKFORCE  
DEVELOPMENT BYLAWS TO BETTER ALIGN WITH THE WORKFORCE  
INNOVATION AND OPPORTUNITY ACT OF 2014**

WHEREAS, the Workforce Development Board, in its annual review of the bylaws, determined several changes were required to address areas necessary for better compliance with the Workforce Innovation and Opportunity Act of 2014; and,

WHEREAS, the attached bylaws are being amended to reflect decisions by the Workforce Development Board to create the Career Pathways Sub-committee, the administrative duty assignment to Workforce & Business Center, voting clarification, and to correct minor grammatical errors.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the 2016 Adams County Workforce Development Board bylaw revisions, a copy of which is attached, be approved.





## **ADAMS COUNTY WORKFORCE DEVELOPMENT BOARD**

### **BYLAWS**

#### **Article I: Purpose**

The Adams County Workforce Development Board (ACWDB) has been established pursuant to the Workforce Innovation and Opportunity Act of 2014 (WIOA), Public Law 113-128 (29 U.S.C. Sec. 3101 et. seq.), as amended, to set policy for the Adams County Workforce & Business Center (ACWBC) in partnership with and subject to the approval of the Chief Elected Officer (CEO) and the Adams County Board of County Commissioners (BOCC).

#### **Article II: Functions**

##### **Section 1: Local Plan**

The ACWDB, in partnership with the Adams County CEO and subject to the approval of the BOCC, shall develop and submit a local four year plan to the Governor.

##### **Section 1.1: Regional Plan**

To align resources between multiple local boards officials in the planning region must “prepare, submit, and obtain approval” of a regional plan. ACWDB and the CEO in conjunction with other local boards must submit a 4-year regional plan to the Governor for approval. The local boards and CEOs must review the regional plan every 2 years and submit modifications for significant changes.

##### **Section 2: Workforce & Business Center one-stop Operator**

Pursuant to the WIOA, Title 1, subtitle B, Chapter 1, subsection d, as amended, the ACWDB, with the agreement of the CEO, BOCC and the Governor, shall certify the ACWDB as Adams County’s workforce and business center delivery system for two years

until July 1, 2017. Re-certification as a one-stop operator at the end of the two years will be through a competitive process.

### Section 3: Standing Committees

The ACWDB will establish standing committees to assist the board in carrying out its responsibilities as outlined in WIOA sec. 107. This will expand the capacity of the board in meeting required functions. To this end ACWDB will establish the following committees:

- (A) The ACWDB Executive Committee is at the least a five member committee composed of the:
- I. ACWDB Chair
  - II. ACWDB Vice-Chair
  - III. Director (Administrator) of the Workforce & Business Center
  - IV. Two or more regular board members

The Executive Committee will meet during months when a regular full member ACWDB meeting is not scheduled or when an immediate decision or discussion is required. Decisions made by the committee will be presented at the next full board meeting for endorsement.

The Executive Committee will also function as the A One-Stop Delivery System Standing Committee to meet, review and discuss the results of the Parties' monitoring reports to assess whether any changes or adjustments are needed in the processes and procedures. The Parties shall negotiate modifications to the provisions of the Memo of Understanding (MOU) and proceed to amend the MOU (section 8 of the by-laws).

- (B) The ACWDB Youth Sub-committee replaces the WIA Youth Council. Membership is open to non-board and board members alike with the requirement that at least 3 members of the sub-committee are current board members. At the initiation of the ACWDB Youth Services supervisor or manager, the sub-committee shall identify eligible providers of youth activities in Adams County, in accordance with federal, state, and/or Adams County policies and procedures, whichever is more restrictive, by awarding grants or contracts on a competitive basis based on the recommendations of the Youth Sub-committee or ACWDB. Each regular ACWDB



meeting will have time devoted to youth issues and decisions. Youth sub-committee decisions are subject to ACWDB oversight and revision.

(C) The ACWDB Career Pathways Sub-committee was created May 12<sup>th</sup>, 2016 on a WDB motion to ensure compliance with the WIOA required board responsibility to lead and promote local area career pathway development. Membership is open to non-board and board members alike with the requirement that at least 3 members of the sub-committee are current board members. Each regular ACWDB meeting will have time devoted to career pathway issues and decisions. Career pathway sub-committee decisions are subject to ACWDB oversight and revision.

#### Section 4: Identification of Eligible Providers of Training and Intensive Services

The ACWDB shall identify eligible providers of training and intensive services for adults and dislocated workers in compliance with the WIOA, and relevant federal and state regulations.

#### Section 5: Budget

The ACWDB fiscal year shall be the state program year, which is from the first (1<sup>st</sup>) day of July of one calendar year through the thirtieth (30<sup>th</sup>) day of June of the next calendar year. The ACWDB shall develop an annual budget for the purposes of carrying out its duties, and shall submit the budget to the BOCC, or its designated authority, for approval.

#### Section 6: Oversight

The ACWDB, in partnership with and subject to the approval of the BOCC, shall conduct oversight with respect to youth activity programs, employment and training activities authorized under the WIOA, as amended, and shall conduct oversight of the ACWBC.

#### Section 7: Local Performance Measures

The ACWDB and the BOCC shall negotiate with the Governor, the Colorado Workforce Development Council (CWDC) and the Colorado Department of Labor and Employment to reach agreement on local performance measures, pursuant to the requirement of the

WIOA, and relevant federal and state regulations. The ACWDB shall report annually to the BOCC on the status of Adams County's four year plan and the bi-annual strategic plan.

### Section 8: Partnership Memo of Understanding (MOU)

A Memorandum of Understanding will be made between the Colorado Department of Labor and Employment on behalf of the Division of Unemployment Insurance (UI), the Division of Employment and Training/Workforce Development Programs (WDP), the Colorado Department of Human Services (DVR, TANF) on behalf of the TANF program, the Colorado Department of Corrections (DOC), and ACWDB and set forth the Parties' understanding and responsibilities to successfully deliver services pursuant to the Workforce Innovation and Opportunity Act.

The review of the MOU shall include:

- I. An analysis of the successes and challenges in operations pursuant to these provisions;
- II. Infrastructure cost sharing methodologies;
- III. Any programmatic budgetary changes that may impact a Party's responsibilities; and
- IV. Consideration of any issues, findings and/or recommendations identified in the Parties' annual monitoring reports
- V. The Parties' performance under the MOU shall commence on July 1, 2016, and shall terminate on June 30, 2019, unless previously terminated by one of the parties pursuant to the terms of the MOU.

#### Section 8.1: Public Access

ACWDB meetings shall be held at the times and in the places designated by the chairperson, and all meetings shall be conducted in accordance with the Colorado Open Meetings Law, C.R.S. §§ 24-6-401 et seq. In addition, the local board shall make available to the public, on a regular basis through electronic means and open meetings, information regarding the activities of the local board, including information regarding the:



- Local plan prior to submission of the plan
- Membership
- Selection and certification of one-stop operators
- Award of grants or contracts to eligible providers of youth workforce development activities, and
- Minutes of formal meetings of the ACWDB.

## Section 8.2: Technology

ACWDB shall develop strategies for using technology to maximize the accessibility and effectiveness of the local workforce development system for employers, workers and job seekers. Phone and web-based technologies will be employed to promote member participation.

## Section 9: Employer Linkages

The ACWDB shall coordinate the workforce investment activities authorized under the WIOA, as amended, with economic development strategies implemented by Adams County, and develop other employer linkages with such activities. The ACWDB shall promote the participation of private sector employers in the Colorado Workforce Development System, and ensure the effective provision, through the system, of connecting, brokering, and coaching activities, through intermediaries such as the ACWBC or through other organizations, to assist such employers in meeting hiring needs.

## **Article III: Membership**

### Section 1: General

The BOCC shall appoint members to the ACWDB in accordance with the mandates of the WIOA, including criteria established by the Governor in partnership with the Colorado Workforce Development Council.

### Section 2: Composition

The ACWDB shall not exceed twenty-five (25) members, and, pursuant to the WIOA, Title I, sec. 107 (b)(2) shall include representatives from each of the type of entities described below.

- (A) A majority of the members of the ACWDB, or at least twelve (12) members, shall be representatives of businesses in Adams County, and shall have the following qualifications:
  - (i) members shall be owners of businesses, chief executives or operating officers of businesses, or other business executives or employers with optimum policymaking or hiring authority; and
  - (ii) shall represent businesses with employment opportunities that reflect the employment opportunities in Adams County; and
  - (iii) shall be appointed from among individuals nominated by local business organizations and business trade associations.
- (B) not less than 20 percent of the members of ACWDB will be representatives of the workforce within the local area who represent -
  - (i) At least two (2) members shall be representatives of labor organization, and shall be nominated by a local labor federation or shall be otherwise representative of employees.
  - (ii) apprenticeship programs
  - (iii) employment needs of individuals with barriers to employment.
  - (iv) Employment, training or education needs of eligible youth both in-school and out-of-school.
- (C) Representatives of entities administering education and training in Adams County, who represent –
  - (i) Eligible providers administering adult education and literacy activities.
  - (ii) Institutions of higher learning
  - (iii) Local community-based organizations.
- (D) Representatives of entities of governmental, economic and community development entities serving Adams County who represent –
  - (i) Economic and community development entities.
  - (ii) The state employment service office under Wagner-Peyser.



- (E) The BOCC may appoint as members other such individuals or representatives of entities as determined by the BOCC to be appropriate.
- (F) When appropriate, a member may represent one or more of the agencies, organizations, or entities specified in paragraphs (A) through (E), above.

### Section 3: Qualifications

Members of the ACWDB, who represent organizations, shall be individuals with policymaking authority and/or serve in a human resources function; such as training or hiring within the organizations, they represent.

#### Section 3.1: Nomination Process

Nominees for the ACWDB may be identified by the CEO, current members of the ACWDB or ACWBC staff.

- 1) Applicants are required to complete the ACWDB application and produce a current resume to be considered.
- 2) The applicants will then be interviewed by current members of the ACWDB and/or ACWBC staff.
- 3) If the candidate meets requirements for the post, a resolution will be created for presentation at a normally schedule Adams County public hearing.
- 4) Final approval comes from the CEO and the BOCC.
- 5) The candidate will become a full voting member of the ACWDB at a time designated in the approved resolution.

#### Section 3.2: Vacancies

Should a vacancy occur on the ACWDB the chairperson shall inform the CEO of such and that the nomination process will be started to fill the position in accordance with WIOA local board composition requirements.

### Section 4: Terms of Service

The term of service for each ACWDB member shall be for a period of three (3) consecutive years, renewable at expiration upon the BOCC's discretion. Members of the

ACWDB who resign, leave, or who are removed from office, for whatever reason, shall be replaced as soon as possible by the BOCC, in accordance with the provisions of the WIOA, and relevant federal and state regulations, and these Bylaws, as amended, and the replacement member shall serve out the unexpired term of service of the member being replaced.

Membership terms, length of service, may vary due to the WIOA requirement for an annual balanced turnover.

### Section 5: Functions of the ACWBD

As enumerated in WIOA statute, Sec. 107 (d), the Local Board, in partnership with the CEO, must perform a variety of functions to support the local workforce system: *(PGL 15-07-WIOA which replaces PGL 14-06-WIA)*

- (i) Develop and submit a local plan to the Governor and be part of a planning region that includes multiple local areas.
- (ii) Perform workforce research and regional labor market analysis.
- (iii) Convene, broker and leverage workforce development system stakeholders to assist in the development of the local plan.
- (iv) Engage employers, promote business representation on the board, develop and implement proven or promising strategies for meeting the needs of employers and workers.
- (v) Connect with representatives of secondary and post-secondary education programs in the local area in order to develop and implement career pathways.
- (vi) Identify and promote proven and promising strategies and initiatives for meeting the needs of employers, workers and jobseekers.
- (vii) Development strategies for using technology to maximize the accessibility and effectiveness of the workforce development system.
- (viii) Conduct oversight, in partnership with the CEO, of the use and management of funds to maximize performance outcomes.
- (ix) Negotiate with CEO and required partners on the methods for funding the infrastructure costs of one-stop centers in the local area.
- (x) Selection of eligible service providers in the local area which must be conducted consistent with 2 CFR part 200. Identify eligible providers of youth workforce investment activities, but now requires, consistent with WIOA sec. 107(d)(10)(B),



that this identification be accomplished through the award of grants or contracts on a competitive basis.

- (xi) Coordinate with education providers in the local area.
- (xii) Develop a budget for the activities of the local board.
- (xiii) Annually assess the physical and programmatic accessibility of all one-stop operators in the local area.
- (xiv) Develop and enter into the memorandum of understanding with each of the one-stop partners.

The Adams County Workforce Development Board on January 14<sup>th</sup>, 2016, assigned administrative execution of the WIOA designated roles and responsibilities to the Administrator / Local Area Director of Adams County Workforce & Business Center and his/her staff. Strategic direction and decision making for those roles and responsibilities are retained by Workforce Development Board.

#### Section 6: Removal from Service

Under the following circumstances, the BOCC or ACWDB, by simple majority vote, may remove any ACWDB member, except the Chairperson or the Vice Chairperson, from his/her term of service before the term is completed.

- (A) Failure to attend or designate a proxy for three (3) consecutive regularly scheduled meetings of the ACWDB in one calendar year, unless excused by the Chairperson; or
- (B) Failure to attend all meetings in one calendar year, excused and unexcused; or
- (C) Any other cause as determined by the BOCC or ACWDB.

The ACWDB Chairperson or the Vice Chairperson may be removed from his/her term of service before the term is completed upon a simple majority vote of both the BOCC and ACWDB voting membership.

#### Section 7: Ensuring Active Participation

It is the duty of all ACWDB members to be actively engaged in board activities. The Chairperson and Vice Chair will monitor and address issues of lack of participation and,

if necessary, make recommendations to the Executive Committee, CEO or full board to address non-compliance with this requirement.

## **Article IV: Officers**

### **Section 1: Chairperson**

At the May meeting of the ACWDB, the members shall elect a Chairperson, by simple majority vote, from among the representatives described in Section 2(A), above. The Chairperson shall serve for a term of two (2) consecutive years, which term shall begin on the first (1<sup>st</sup>) day of July of the first (1<sup>st</sup>) year of his/her term, and end on the thirtieth (30<sup>th</sup>) day of June of the final year of his/her term.

The duties of the Chairperson shall be to preside over the meetings of the ACWDB to call special meetings, or to poll members of the ACWDB as the Chairperson deems necessary and proper. It shall also be the duty of the Chairperson to establish such committees as necessary, within each program year, to effectively and efficiently carry out the functions of the ACWDB.

### **Section 2: Vice Chairperson**

At the May meeting of the ACWDB, the members shall elect a Vice Chairperson, by simple majority vote, from among the representatives described in Section 2(A), above. The Vice Chairperson shall serve for a term of two (2) consecutive years, which term shall begin on the first (1<sup>st</sup>) day of July of the first (1<sup>st</sup>) year of his/her term, and end on the thirtieth (30<sup>th</sup>) day of June of the final year of his/her term.

The Vice Chairperson shall perform the duties of the Chairperson in the event of the Chairperson's absence or in the event of a vacancy in the position of Chairperson.

### **Section 3: Replacement of Chairperson and/or Vice Chairperson**

In the event of a vacancy in the position of Chairperson, the Vice Chairperson shall fill the vacancy only until the ACWDB elects a successor to complete the unexpired term of service of the vacating Chairperson.



In the event of vacancies at the same time in the positions of Chairperson and Vice Chairperson, the Director (Administrator) of the ACWBC shall act as Chairperson only until the ACWDB elects successors to complete the unexpired terms of service of the vacating Chairpersons and Vice Chairpersons.

When either the Chairperson or the Vice Chairperson for any reason vacates his/her term of service before it is completed, that vacancy shall be filled as provided herein no later than the second (2<sup>nd</sup>) scheduled ACWDB meeting after the date the office is vacated.

## **Article V: Meetings**

### **Section 1: Meetings**

The ACWDB shall hold at least five (5) scheduled meetings during each program year, which is from the first (1<sup>st</sup>) day of July through the thirtieth (30<sup>th</sup>) day of June. The ACWBC shall determine the time and place for the meetings, and ensure that notice is given to each member of the ACWDB.

The ACWDB may also be called into special session at such times and dates and at such locations as the Chairperson shall deem necessary and appropriate.

### **Section 2: Agenda**

ACWBC shall ensure that the agenda for each meeting of the ACWDB shall be presented with the notice of meetings whenever feasible; and may be amended, if necessary, at the commencement of such meeting.

### **Section 3: Voting**

Each ACWDB member shall be entitled to one vote. Each member may designate an alternate to attend any specific meeting and vote by proxy at said meeting. Such designation must be accomplished prior to the beginning of the meeting in question and may be accomplished either orally or in writing to the Chairperson of the ACWDB.

The WDB Executive committee meetings are often via phone conference. Under such circumstances, voting is permitted as long as a quorum is present and the votes are tallied and available for public inspection and comment. All votes are reported to the full WDB at the next scheduled meeting.

#### Section 4: Quorum Necessary

A quorum shall consist of a simple majority of ACWDB voting members and either the Chairperson or the Vice Chairperson. A quorum must be present at any meeting of the ACWDB for the valid transaction of business to occur.

#### Section 5: Conflict of Interest

An ACWDB member shall not vote on a matter under consideration by the ACWDB regarding the provision of services by such member, or by an entity that such member represents, or that would provide direct financial benefit to such member or the immediate family or such member, or engage in any other activity that constitutes a conflict of interest as specified in the State plan.

#### Section 6: Open Records

Pursuant to the WIOA, as amended, the ACWDB shall make available to the public, on a regular basis through open meetings, information regarding the activities of the ACWDB, including information regarding the local plan prior to submission of the plan, and regarding membership, the designation and certification of workforce and business center operators, and the award of grants or contracts to eligible providers of youth activities, and, on request, minutes of formal meetings of the ACWDB.

### **Article VI: Bylaw Revisions**

ACWBD bylaws will require periodic alignment with state and federal statutes, and modifications to comply with changing state and federal regulations. The ACWBD Executive Committee will undertake the reviews on an annual basis or when required.

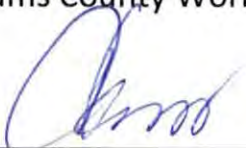
IN WITNESS WHEREOF, the Parties have caused their names to be affixed hereto.

\_\_\_\_\_  
Steve O’Dorisio, Chair  
Adams County Board of County Commissioners

\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Tricia Allen, Chair  
Adams County Workforce Development Board

10/11/16  
\_\_\_\_\_  
Date


  
\_\_\_\_\_  
Chris Kline, Director  
Adams County Human Services Department

10-18-16  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Phil Noble, Administrator  
Adams County Workforce & Business Center

9/27/16  
\_\_\_\_\_  
Date

Approved as to form:

  
\_\_\_\_\_  
Doug Edelstein  
Adams County Attorney’s Office

10/5/16  
\_\_\_\_\_  
Date





## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> November 1, 2016
<b>SUBJECT:</b> Land Lease Agreement for Solar Panels
<b>FROM:</b> Jeri Coin, on behalf of D. E. Ruppel, Airport Director
<b>AGENCY/DEPARTMENT:</b> Front Range Airport
<b>HEARD AT STUDY SESSION:</b> N/A
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves a resolution approving a Land Lease with CEC Solar #1130, LLC

### **BACKGROUND:**

The Airport (“Landlord”) has a vacant 653,000 square foot parcel, approximately 15 acres, located on the airport; and, CEC Solar #1130, LLC (“Tenant”) would like to construct and operate a Solar Farm on this parcel; and, the Landlord would like to lease the parcel to the Tenant under the terms and conditions of the attached Land Lease Agreement.

### **AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

County Attorney’s Office

### **ATTACHED DOCUMENTS:**

BOCC Draft Resolution  
Land Lease Agreement

**FISCAL IMPACT:**

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

<b>Fund:</b> 43
<b>Cost Center:</b> 4302

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:	6440.02		\$20,000.00
<b>Total Revenues:</b>			<u>\$20,000.00</u>

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<u>\$0.00</u>

**New FTEs requested:**             **YES**             **NO**

**Future Amendment Needed:**     **YES**             **NO**

**Additional Note:**

The lease rate is \$1,333.33 per acre, per year, for a first year payment of \$20,000. The rent escalates 3% per year for a total revenue of \$951,508.31 over the 30 year term of the lease.

BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING LAND LEASE AGREEMENT  
BETWEEN ADAMS COUNTY AND CEC SOLAR # 1130, LLC

Resolution 2016-

WHEREAS, Adams County is a body corporate and politic that owns and operates an airport known as Front Range Airport (“Landlord”); and,

WHEREAS, the Landlord has a vacant 653,000 square foot parcel, approximately 15 acres, located on the airport; and,

WHEREAS, CEC Solar #1130, LLC (“Tenant”) would like to construct and operate a Solar Farm on this parcel; and,

WHEREAS, the Landlord would like to lease the parcel to the Tenant under the terms and conditions of the attached Land Lease Agreement.

NOW THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado that the attached Land Lease Agreement between Adams County and the CEC Solar # 1130, LLC, is hereby approved.

BE IT FURTHER RESOLVED, that the Chairman is authorized to execute said Agreement on behalf of Adams County.



**LAND LEASE AGREEMENT-  
(SOLAR FARM)**

This Land Lease Agreement (the "Lease") is made effective this 6<sup>th</sup> day of October, 2016 ("Effective Date") by and between Adams County, on behalf of the Front Range Airport, located at 5200 Front Range Parkway, Watkins, Colorado 80137, ("Landlord") and CEC Solar # 1130, LLC, a Colorado limited liability company, having an office at 361 Centennial Parkway, Third Floor, Louisville, Colorado 80027 ("Tenant"). Tenant and Landlord are each individually referred to herein as a "Party" and collectively as the "Parties."

For and in consideration of the mutual covenants hereinafter contained, the Parties agree as follows:

1. Lease and Description. Upon the terms and conditions hereinafter set forth, the Landlord hereby leases to the Tenant, and the Tenant hereby leases from the Landlord, those certain premises situated at the Front Range Airport, Adams County, Colorado, a 653,000 square foot (approximately 15 acres) parcel of property commonly known as a portion of the Front Range Airport property at 5200 Front Range Parkway, located in Adams County, Watkins, Colorado, together with ingress, egress, and utility easements on the airport providing access to and from a public road and the point of utility interconnection, if on airport property, as described in Sections 5 and 6 below (the "Leased Premises"). A legal description of the Leased Premises is attached hereto and incorporated herein as Exhibit A. Landlord grants to Tenant the right to survey the Leased Premises at Tenant's cost, and the legal description of the Leased Premises, including any access or utility easements, provided in the survey shall then become Exhibit B, which shall be attached hereto and made a part hereof. In the event of any discrepancy between the description of the property contained herein and the survey, the survey shall control.

2. Business Purpose. The Leased Premises shall be used for the construction and operation of a Solar Farm and related facilities under the terms and conditions of this Lease which shall not be construed as creating or vesting in the Tenant or any subtenant or assignee a fee interest in the Premises.

The construction of an approximately two (2) Megawatt solar farm (the "Solar Farm") and facilities constructed on the Leased Premises and the leasehold interest created hereby are to be used for non-aeronautical-related purposes, including but not limited to the activities listed in Section 6. The tenancy created hereby is subject to the terms of this Lease, the Minimum Standards of Front Range Airport, all applicable federal, state and local laws and ordinances. The Minimum Standards shall be provided by the Landlord to the Tenant in writing upon the approval of this Lease and thereafter from time to time as they are amended.

3. Term. The initial term of this Lease shall commence on the Effective Date of this lease and shall run for twenty (20) years from the earlier of the date the Solar Farm is interconnected with the utility or one (1) year from the Effective Date of this lease (the "Initial Term"). So long as the Tenant is in full compliance with the terms of the Lease and the Minimum Standards of Front Range Airport, the Tenant may extend the term of this Lease for an additional ten (10) year period (the "Extension Term"). In order to exercise this extension option, Tenant shall deliver to Landlord, not less than ninety (90) days prior to the expiration of the Initial Term, written notice of Tenant's intent to extend this for such additional ten (10) year period.

4. Rent. The rent shall be \$1,333.33 per acre, per year, for a first-year payment of \$20,000, together with Annual Escalation outlined below. Said Rent shall be due within thirty days of the earlier of the date the Solar Farm is interconnected with the utility or one (1) year from the Effective Date of this lease (the "Rent Payment Date"). Rent for subsequent years shall be due upon the anniversary of the Rent Payment Date of this Lease.

Rent payment shall be made at 5200 Front Range Parkway, Watkins, Colorado 80137, or at such other address as the Landlord notifies the Tenant in writing during the original or any extended term of the Lease. The Tenant shall also pay for any calendar year or fraction thereof for which rent is due but not paid within ten (10) calendar days of the due date a late charge equal to five percent (5%) of the rent due and any accrued late charges.

Annual Escalation. Commencing on January 1, 2018, and once every year thereafter, the rent shall increase by 3.0%.

5. Assignment of Lease. Tenant shall not assign or transfer this Agreement, or any interest herein, without the prior written consent of Landlord which shall not be unreasonably withheld, delayed or conditioned, and consent to an assignment shall not be deemed to be a consent to any subsequent assignment. Notwithstanding the foregoing, Tenant is expressly permitted to assign its rights and responsibilities under this Agreement, without obtaining Landlord's consent and in its sole discretion, to any entity owned or controlled by Tenant or under common ownership or control with Tenant provided: (1) the Tenant provides the Landlord and maintains a current list of the names, addresses and telephone numbers of these entities; and (2) the entities agree in writing to abide by all the terms and conditions of this Lease.

6. Improvements of Leased Premises. All improvements constructed on the Premises are subject to the following terms and conditions:

a. Landlord has reviewed and approved Tenant's Solar Farm Facility Plans for construction (the "Plans") prior to execution of this Lease and agrees that such Plans meet the Minimum Standards of Front Range Airport. All improvements shall be built in

substantial conformance with those Plans, including layout plans and elevations of the finished solar farm. Any subsequent material change to the Plans, and any construction after the initial installation of Tenant's Solar Farm facilities (excluding Tenant's routine/periodic maintenance and replacement of said initially approved facilities) shall be submitted to Landlord for approval, such approval not to be unreasonably delayed or withheld. Landlord shall have twenty (20) days to issue its approval or disapproval of said subsequent change. If no approval or denial is received by Tenant within such twenty (20) day period, Landlord's approval shall be deemed to have been given.

b. Components. Tenant shall construct an approximately two (2) Megawatt solar farm (the "Solar Farm") at its sole expense. The Solar Farm shall consist of racking and foundations; inverters and transformers; necessary electrical interconnections and all improvements and connections required to transfer and deliver generation offsite, including three (3) phase extensions and power box(es); a 200 to 400 square-foot structure to house electrical and maintenance equipment ("PV Box"); security fencing and gating, with cameras, enclosing the Leased Premises; safety signage and solar photo voltaic ("PV") panels (collectively the "Site Improvements and Infrastructure"). Except as set forth herein, Landlord has no obligation to make improvements on the Leased Premises or Landlord's real property to accommodate the Solar Farm.

c. Use of Non-Leased Area. Tenant shall use reasonable efforts to use only the Leased Premises for ingress and egress, storage, construction and all improvement activities, and shall not use the property of the Landlord other than the Leased Premises for the improvement activities except as otherwise agreed. Should Tenant require additional area for lay down or storage during the construction of the improvements then Landlord shall allow use of one acre for a lay down or storage area directly adjacent to the Leased Premises at no additional cost to Tenant. Said lay down / storage area shall be depicted on the Plans and be approved at time of Lease execution. Provided however, that Tenant shall not have the right to place any improvements on such one acre area, and shall only have use of the additional one acre one time for period not to exceed six months. Tenant shall ensure that it repairs the surface of the one acre area to the extent that its laydown and storage activities causes damage thereto.

d. New Construction. For any new construction on the Leased Premises, such construction shall be designed and built in accordance with applicable law in effect at the time of construction, including without limitation, the applicable building and fire codes of such agencies and the Minimum Standards.

e. Signage. Tenant shall have the right to place one or more signs advertising the Solar Farm provided that, prior to putting up any such signage, Tenant has obtained any required sign permits from the local governing authority and such signs comply with the Minimum Standards. In the event that there is a conflict between the Minimum Standards and applicable law or permits, the requirements of applicable law or permits shall control.



f. Fencing. Tenant shall maintain a security fence around the Solar Farm including along Imboden Road for the duration of the Term and any extensions thereto.

g. Unless construction of the improvements is commenced within twelve (12) months after execution of Lease, this Lease shall become null and void, unless the Parties agree in writing to a longer period in which to commence construction. If the Lease becomes null and void pursuant to this section, the Tenant shall be entitled to return of prorated advance rents and other fees paid to the Landlord. Construction shall be completed by twenty-four (24) months after the execution of the Lease. Timely completion of construction is a material term of this Lease. All permits and approvals required for construction of the said improvements and/or use of the Leased Premises shall be obtained by the Tenant in a timely fashion at Tenant's sole expense.

7. Ingress, Egress, Utility and Solar Easement. As part of the Leased Premises, Landlord hereby grants to Tenant an easement for ingress and egress to the Leased Premises in a mutually agreeable location, for access to and from Leased Premises from a public road, and over property of Landlord within and adjacent to the Leased Premises for construction and maintenance of the Site Improvements and Infrastructure on the Leased Premises, for the installation, construction, use and maintenance of underground and aboveground telephone, telegraph, and power lines and electric utilities in connection with Tenant's use of the Leased Premises, and upon and above the property of Landlord for the unrestricted right to receive and utilize solar energy at the Solar Farm (the "Easement"). The term of this Easement shall commence upon the Commencement Date of this Lease and shall continue until the last to occur of (i) expiration of the Lease Term, or (ii) removal by Tenant of all of its property from the Leased Premises after expiration of the Lease Term, including removal of Tenant's property and infrastructure from the Easement. Additional details concerning the location and configuration of the Easement may be specified by the parties not later than ten (10) business days after execution of this Agreement and shall be included in any recorded Memorandum of this Lease. In addition, at Tenant's request and expense, this Easement shall be set forth in a separate Easement Agreement, which Landlord and Tenant agree to execute and which Tenant shall have recorded as an encumbrance on the property of Landlord and binding upon all subsequent owners, successors, and assigns. Upon expiration of the Easement, Tenant shall repair any damage to the Easement area caused by Tenant or Tenant's agents. Upon expiration of the Easement, Tenant shall, at Landlord's request, execute a termination of Easement for recording purposes.

8. Utilities. Tenant is responsible, at its sole cost, for bringing utilities from the present point of termination to the perimeter of the Premises. Notwithstanding the foregoing, Landlord agrees to execute any easement agreement required by the local utility to bring utilities to the point of interconnection with the Solar Farm. The Tenant must provide all improvements within the perimeter of the Leased Premises that Tenant determines it requires in its sole discretion, including, but not limited to, any necessary

paving, landscaping, buildings, parking, lighting, telephone and other facilities or utilities. All utilities shall be underground within the Leased Premises. Tenant hereby covenants and agrees to pay all monthly or other regular charges for lighting, and for all other public utilities which shall be used in or charged against the Leased Premises by Tenant during the full terms of this Lease. Landlord agrees to cooperate in the acquisition of temporary hook ups.

9. Taxes. Landlord is a tax exempt entity. Tenant shall pay all personal property taxes associated with its facilities and leasehold interest and, as additional Rent, any increase in real property taxes levied against the Leased Premises that is directly attributable to Tenant's improvements to the Leased Premises.

10. Repair, Maintenance and Security.

a. At its sole expense, the Tenant shall keep the Leased Premises and all improvements thereon in good repair and in a safe and sanitary condition. The Leased Premises shall at all times be maintained in accordance with any applicable Building Code, Zoning Regulation, or Ordinance of Adams County.

b. During construction, Tenant shall, at its expense, be responsible for the immediate clean up of any dirt and/or mud that Tenant tracks or blows upon the adjacent pavement areas.

c. Maintenance. The Solar Farm shall be maintained by Tenant at its own expense. Tenant shall maintain, protect and preserve the Solar Farm in a safe, neat and attractive condition and in good and serviceable repair. Tenant shall be responsible for ongoing vegetation and weed management on the Leased Premises.

d. Snow Removal. Landlord does not provide snow removal service on the access road serving the Leased Premises. Snow removal on the Leased Premises, if needed, shall be the responsibility of Tenant as necessitated by Tenant's operation of the Solar Farm. Any snow removal activities will minimize any damage to the existing ground surface of the site. Tenant will promptly repair any damage to the Leased Premises caused by its snow removal activities. Tenant will only use the existing or new access roads via the access easement for vehicle access to the site.

e. Security. Security for the Solar Farm shall be the responsibility of Tenant. Nothing in this Agreement shall be construed to impose security obligations upon Landlord. Landlord shall not be liable for any loss or damages suffered by Tenant or third party solar panel owners due to Tenant's and such third parties' use and occupancy of and activities on the Leased Premises.

11. Use. The Tenant shall conduct on the Leased Premises only the business for which it is leased and shall not use the Leased Premises for any illegal purpose. The

Tenant's uses under this Lease include the construction and operation of the Solar Farm, and activities related thereto. Nothing in this Agreement shall be deemed to give Tenant the right to engage in any activities which are not related to the foregoing use, except as otherwise allowed under the provisions of this Lease.

12. Title and Quiet Possession. Landlord represents and covenants that Landlord owns the Leased Premises and property subject to the Easement in fee simple, free and clear of all liens, encumbrances, and restrictions of every kind and nature, except for those that currently appear in the recorded chain of title and are reported as exceptions on the commitment for title insurance that Tenant may obtain.

Landlord represents and warrants to Tenant that Landlord has the full right to make this Lease and that Tenant shall have quiet enjoyment and peaceful possession of the Leased Premises and the Easement throughout the Lease Term.

13. Title to Site Improvements and Infrastructure.

(a) Site Improvements and Infrastructure. Title to the Site Improvements and Infrastructure remains with Tenant at all times during the Term. Upon expiration of this Agreement, title to the Site Improvements and Infrastructure shall be designated in accordance with Section 24, below.

(b) Repair of Landlord's Property. In the event that Tenant causes any damage to Landlord's real property, including without limitation any above-ground or underground utilities, in the course of any activity undertaken by Tenant under this Agreement, Tenant shall facilitate the repair of such damage to return such property of Landlord to substantially the same condition as it existed prior to such damage, at Tenant's sole expense.

14. Subordination, Attornment, and Nondisturbance. Tenant agrees that, if requested by Landlord, this Lease shall be subject and subordinate to any mortgages or deeds of trust now or hereafter placed upon the Leased Premises and to all modifications thereto, and to all present and future advances made with respect to any such mortgage or deed of trust, provided that Landlord first delivers to Tenant a Non-Disturbance Agreement (defined below) from the holder of such lien or mortgage. In any case Tenant's possession of the Leased Premises and use of the Easements shall not be disturbed so long as Tenant shall continue to perform its duties and obligations under this Lease. Except as otherwise set forth herein, Landlord agrees that any right, title or interest created by Landlord from and after the date hereof in favor of or granted to any third party shall be subject to (i) this Agreement and all of Tenant's rights, title and interests created in this Agreement, and (ii) any and all documents executed by and between Tenant and Landlord in connection with this Agreement. "Non-disturbance Agreement" shall mean an agreement in form reasonably acceptable to Tenant, between Tenant, Landlord and the holder of a lien or a mortgage that provides that the holder of such lien or a mortgage (i) agrees not to disturb Tenant's possession or rights under this Agreement, (ii) agrees to provide notice of defaults under the lien or a mortgage documents to Tenant and agrees to allow Tenant and its lenders a reasonable period of time following such notice to cure such defaults on behalf of Landlord, and (iii) agrees

to comply with such other requirements as may be reasonably required by Tenant or its lenders to ensure the interests of Tenant or its lenders are not interfered with. Tenant agrees to attorn to the mortgagee, trustee, or beneficiary under any such mortgage or deed of trust, and to the purchaser in a sale pursuant to the foreclosure thereof; provided that such mortgagees, trustees, beneficiaries and purchasers agree in writing that Tenant's possession of the Leased Premises and use of the Easements shall not be disturbed so long as Tenant shall continue to perform its duties and obligations under this Lease. Tenant's obligation to perform such duties and obligations shall not be in any way increased or its rights diminished by the provisions of this paragraph. Within ten (10) business days of execution of this Agreement or within ten (10) business days of the date of creation of any future mortgages or deeds of trust, Landlord shall request Landlord's secured lenders to provide a Subordination and Non-Disturbance Agreement provide an Attornment and Nondisturbance Agreement from Landlord's secured lenders, if any, in form reasonably acceptable to Tenant, and executed and acknowledged by Landlord and the holder of any mortgage or deed of trust to which this Lease is, or shall become, subordinate.

15. Mortgage of Leasehold Interests.

a. Lender Collateral. Tenant shall have the right to pledge, mortgage and/or collaterally assign its leasehold interest and the Solar Farm as security to lender(s) (hereinafter "Lenders") for financing purposes without the further consent of Landlord. Landlord agrees to execute and deliver to Tenant within thirty (30) days of any Tenant request therefor made from time to time, a Landlord Acknowledgement of Collateral Assignment of Lease in the form similar to that of Exhibit D hereto. Landlord also agrees to promptly execute an estoppel certificate and any such other documentation as may reasonably be required by such lender(s) from time to time to certify as to the status of this Lease and to the performance of Tenant hereunder as of the date of such certification.

b. Notices to Lenders. As a precondition to exercising any rights or remedies related to any default by Tenant under this agreement, Landlord shall give written notice of the default to each Lender that is of record with Landlord, at the same time it delivers notice of default to Tenant, specifying the alleged event of default and the required remedy. Each Lender shall have the same amount of time to cure the default under this Lease as is given to Tenant hereunder, and the same right as Tenant to cure any default or to remove any property of Tenant or Lender located on the Leased Premises. The cure period for all Lenders shall begin to run at the end of the cure period given to Tenant in this agreement, but in no case shall the cure period for any Lender be less than thirty (30) days after Lender's receipt of default notice. In the event that a Lease default requires immediate action by Landlord to preserve the health, safety, or welfare of the Airport, its tenants, users, neighbors, or members of the public, Landlord may take such immediate action as it deems necessary to remedy such default. Failure of Landlord to give a Lender notice shall not diminish Landlord's rights against Tenant, but shall preserve all rights of such Lender to cure any default and to remove any property of Tenant or the Mortgagee located on the Leased Premises.



c. Right to Cure Defaults; Substitution. To prevent termination of this Lease, the Lender shall have the right, but not the obligation, at any time to perform any act necessary to cure any default and to prevent the termination of this Lease or any interest in the Solar Farm. In the event of an uncured default by the holder of Tenant's entire interest in this Lease, or in the event of a termination of this agreement by operation of law or otherwise, each Lender that is not in default of its obligations may cure such default and, after curing such default, thereafter shall have the right to have Landlord either recognize the Lender's interest or grant a new lease substantially identical to this Lease. Under any such new lease, the Lender shall be entitled to, and Landlord shall not disturb the Lender's continued use and enjoyment thereunder for the remainder of the Term provided the Lender complies with the terms and conditions of the Lease.

16. Liens and Insolvency. The Tenant shall not cause any mechanic's or materialman's lien to be placed on the Leased Premises.

17. Rent After Default. If any or all of the Premises is sublet, sold or otherwise occupied by anyone other than the Tenant, after any default in the payment of rent by the Tenant, the Landlord may collect rent or other periodic payments from subtenants, purchasers or other occupants, but such collection and/or the Landlord's agreement to a third person's use or occupancy of the Premises shall not be deemed a waiver of any term or condition of this Lease.

18. Access. The Tenant shall allow the Landlord and/or its agents access to the Premises during business hours upon 24 hours' notice for the purpose of inspection. In case of emergency the Landlord may have access at any time. Landlord understands the risks associated with accessing the Leases Premises once the Solar Farm is operational and agrees to ensure that Landlord's activities are conducted in a safe manner. Nothing herein shall be construed to limit the authority of Adams County building inspectors under existing law.

19. Governmental Approvals and Compliance. Tenant shall obtain any necessary governmental licenses or authorizations required for the construction and use of the Site Improvements and Infrastructure on the Leased Premises and shall comply with government laws and regulations applicable thereto. Notwithstanding the foregoing, Tenant shall not be responsible for any matters arising in connection to Environmental Laws relating to the Leased Premises, except to the extent the need for compliance therefor arises directly out of the release by Tenant of any Hazardous Substances on or about the Leased Premises.

20. Insurance. At all times during the Term of this Lease, Tenant shall maintain in full force a comprehensive public liability insurance policy covering Tenant's operations, activities, and liabilities on the Leased Premises, having singly or in combination limits not less than One Million Dollars (\$1,000,000) in the



aggregate; please see attached "Exhibit C", Insurance Requirements. Such policy shall name Landlord as an additional insured under such policy as the Landlord's interests may appear. Upon Landlord's request, Tenant shall give Landlord a certificate of insurance evidencing that the insurance required under the Agreement is in force.

21. Maintenance by Landlord. Landlord shall maintain its property adjacent to the Leased Premises in good condition and state of repair to avoid interference with Tenant's use of the Leased Premises and the Easement. Landlord shall not construct structures or plant trees adjacent to the Leased Premises that will impede solar access to Solar Farm.

22. Tenant's Right of Cancellation. In addition to any other remedies available to the Tenant, this Lease shall be subject to cancellation by the Tenant if any one or more of the following events occur:

a. Abandonment: If the Airport is permanently abandoned as an operating airport by the Landlord, the Tenant shall be entitled to cancel this Lease, remove all improvements it constructed on the Premises and have returned to it a pro rata share of prepaid rent for the year of termination.

b. Supervening Event: If any act of God prevents the Tenant from using the Premises for the purpose provided in paragraph 2 above, for six consecutive months, it may cancel this Lease. However, neither party shall have any liability to the other for the results of any such act.

c. Landlord's Breach of Lease: Tenant may cancel this Lease if the Landlord breaches any of its obligations under this Lease and fails to remedy such breach within thirty (30) calendar days after the Tenant's delivery of written notice of the breach to the Landlord.

d. At any time prior to the first date on which the Solar Farm (i) is ready for regular, daily operation, has been interconnected with the local utility's grid, has been accepted into the applicable energy grid and is producing electricity at full or substantially full capacity in accordance with applicable law ("Commercial Operation Date"), any of the following occur:

i. Any governmental agency denies a request by Tenant for or revokes a permit, license, or approval that is required for Tenant to construct or operate the Site Improvements and Infrastructure on the Leased Premises;

ii. Tenant determines that any condition exists on or about the Property, which precludes Tenant from using the Leased Premises for its intended purpose;

iii. Utilities necessary for Tenant's use of the Leased Premises are not available to the Leased Premises; or

iv. The Solar Farm is damaged or destroyed to an extent that prohibits or materially interferes with Tenant's use of the Leased Premises provided however, that Tenant shall use commercially reasonable efforts to mitigate such damage.

v. Tenant has not obtained (i) a fully-executed Interconnection Agreement with Xcel or (ii) required financing within one year of the Effective Date of this lease.

23. Landlord's Right of Termination. Landlord may terminate this Lease in the event Tenant fails to pay rent within thirty (30) days of Landlord's written notice to Tenant that such payment has not been made by the due date. In such case, Landlord shall follow the procedures set forth in the Forcible Entry and Detainer statute, and Landlord shall be entitled to its attorney fees and costs.

24. Removal of Improvements. Upon termination of this Lease, at its sole cost, the Tenant shall remove any improvements (except pavement) it has made to the Leased Premises and Easement area, and it shall repair any damage to the Leased Premises and Easement area to the extent caused by Tenant's use of the Leased Premises or Easement area.

25. Notices. All notices, demands, requests, consents, approvals, and other instruments required or permitted to be given pursuant to this Agreement shall be in writing, signed by the notifying party, or officer, agent, or attorney of the notifying party, and shall be deemed to have been effective upon delivery if served personally, including but not limited to delivery by messenger, overnight courier service or overnight express mail, or upon posting if sent by registered or certified mail, postage prepaid, return receipt requested, and addressed as follows:

To Landlord: Airport Director  
Adams County, Front Range Airport  
5200 Front Range Parkway  
Watkins, CO 80137-7131

To Tenant:  
CEC Solar # 1130, LLC  
361 Centennial Parkway, Third Floor  
Louisville, CO 80027

With a copy: By email: [paul.spencer@easycleanenergy.com](mailto:paul.spencer@easycleanenergy.com)

The address to which any notice, demand, or other writing may be delivered to any party as above provided may be changed by written notice given by such party as above provided.

26. Nonwaiver of Breach. The failure of either party to insist on strict compliance with any term or condition of this Lease shall not be deemed a waiver or relinquishment of the right to require strict compliance with such term or condition, or any other term or condition of this Lease in the future.

27. Holding Over. If the Tenant holds over after the end of the original term of this Lease or any extended term hereof, the Tenant shall pay the Landlord rent in an amount equal to 150 % of the Lease rate then in effect. Such holding over shall not constitute renewal of this Lease but shall be a month-to-month tenancy only, with all other terms and conditions of this Lease applicable.

28. Landlord's Warranties. The Landlord warrants that it is the owner of the Premises free and clear of all liens and encumbrances, that it has the authority to enter into this Lease and to the best of Landlord's actual knowledge the Premises is free from contamination by hazardous substances.

29. Jurisdiction and Venue. The parties acknowledge that this Lease is entered into in the State of Colorado, and they agree that the courts of Adams County, Colorado, shall have jurisdiction and be the sole venue to resolve all disputes between the parties arising from this Lease or concerning the Premises.

30. Site Plan. Future development shall conform to and be in compliance with the requirements set forth in Chapter VI, Article B, Step 2 (Concept Plan), and Step 3 (Development Plan Drawings) of the Development Policy and Application Procedure for Aeronautical and Non-aeronautical Land Use at Front Range Airport, as adopted October 20 1999, attached hereto as Exhibit "C."

31. Liabilities to Third Parties; Risk of Loss. Tenant shall indemnify and hold Landlord harmless from any liability (including reimbursement of Landlord's reasonable legal fees and all costs) for death or bodily injury to third parties, or physical damage to the property of third parties, to the extent caused by the fault of Tenant or any of Tenant's agents, servants, employees, or licensees and, as between Landlord and Tenant, Landlord shall be solely responsible for any liability (including reimbursement of Tenant's reasonable legal fees and all costs) for death or bodily injury to third parties, or physical damage to the property of third parties, to the extent caused by the fault of Landlord or any of Landlord's agents, servants, employees, or licensees. Notwithstanding any provisions herein to the contrary, it is understood and agreed that all property kept, installed, stored, or maintained in or upon the Leased Premises by Tenant shall be so installed, kept, stored, or maintained at the risk of Tenant. Landlord shall not be responsible for any loss or damage to equipment owned by Tenant that

might result from tornadoes, lightning, windstorms, or other Acts of God. The covenants of this paragraph shall survive and be enforceable and shall continue in full force and effect for the benefit of the Parties and their respective subsequent transferees, successors, and assigns, and shall survive the termination of this Lease, whether by expiration or otherwise.

32. Tenant's Performance and Surrender. Tenant shall pay the rent and all other sums required to be paid by Tenant hereunder in the amounts, at the times, and in the manner herein provided, and shall keep and perform all terms and conditions hereof on its part to be kept and performed, and at the expiration or sooner termination of this Lease, surrender to Landlord the Leased Premises subject to the other provisions of this Lease.

33. Default and Termination for Default. Landlord or Tenant shall be in default of this Lease if either party breaches any material provision hereof and said breach is not cured by the breaching party within sixty (60) days of receipt of notice of said breach from the other party hereto, or if such cure cannot reasonably be had within said sixty (60) day period, then if cure of such breach is not commenced within thirty (30) days of receipt of such notice and not thereafter completed using diligent efforts. Upon the breaching party's failure to cure its breach within such time, as applicable, the other party hereto shall have the right to terminate this Lease for default, and to pursue such remedies as may be available in law or equity.

34. Rights to Site Improvements and Infrastructure Upon Termination.

(a) Mutual Determination to Extend. Any time prior to the expiration of the Term (as such Term may be extended under Section 3), Tenant may notify Landlord of Tenant's desire to continue leasing the Leased Premises after the expiration of the Term. In the event of such notice, Landlord and Tenant shall negotiate in good faith for the continuation of this Lease under mutually agreeable terms. In the event that Landlord and Tenant execute a new or extended lease of the Leased Premises at least thirty (30) days prior to such expiration of the Term, then the terms and conditions of such new or extended lease shall apply.

(b) Removal of Solar Garden. Except as otherwise provided in Section 42(a) above, upon the expiration of the Term set forth in Section 3 (as such Term may be extended as therein provided), Tenant shall be obligated to remove the Solar Farm and all of Tenant's personal property from the Leased Premises and Easement area, including any solar panels that may be owned by third parties. Such removal shall be completed within six (6) months following the expiration of the full term of this Agreement, during which time Tenant shall be subject to all terms and conditions in this Lease with respect to access and said removal as if still a tenant.

(c) Noncompliance with Section 24(b). If Tenant either (i) abandons the Leased Premises or (ii) fails to remove the Solar Farm from the Leased Premises when required by Section 42(b) within the time period described therein, then Tenant shall be in default, and Landlord, after notice of default and expiration of the applicable cure periods set forth in Section 40 hereof, may remove the Solar Farm



at Tenant's cost. This Subsection 42(c) shall not apply in the event that the Landlord and Tenant enter into a new lease or lease extension as referenced in Section 42(a) above.

35. Binding on Successors. The covenants and conditions contained herein shall apply to and bind the heirs, successors, executors, administrators, and assigns of the parties hereto.

36. Governing Law. The parties intend that this Agreement and the relationship of the parties shall be governed by the laws of the State in which the Leased Premises are located.

37. Entire Agreement. All of the representations and obligations of the parties are contained herein, and no modification, waiver, or amendment of this Agreement or of any of its conditions or provisions shall be binding upon a party unless in writing signed by that party or a duly authorized agent of that party empowered by a written authority signed by that party. The waiver by any party of a breach of any provision of this Agreement shall not operate or be construed as a waiver of any subsequent breach of that provision by the same party, or of any other provision or condition of the Agreement.

38. Survey and Testing. Tenant shall have the right during the Initial Term and any extension to inspect, survey, soil test, and make any other investigations necessary or useful to determine if the Leased Premises are suitable for construction and operation of the Solar Farm. If Tenant, within the above-stated time, determines that for any reason the Leased Premises is not suitable, this Agreement, upon written notice given to Landlord, shall become null and void; provided that at Tenant's sole expense the Leased Premises shall be promptly restored to its condition prior to such testing and investigations.

39. Oil, Gas and Mineral Rights. Landlord does not grant, lease, let, or demise hereby, but expressly excepts and reserves herefrom all rights to oil, gas, and other minerals in, on, or under and that might be produced or mined from the Leased Premises; provided however, that no drilling or other activity will be undertaken on the surface of the Leased Premises to recover any oil, gas, or minerals during the Term hereof. This Lease is given and accepted subject to the terms and provisions of any recorded oil, gas, and mineral lease covering the Leased Premises or any part thereof now of record in the office of the County Clerk and Recorder; provided that Tenant is able to obtain a Non-disturbance Agreement in form reasonable to Tenant, executed and acknowledged by Landlord and the holder of any such oil, gas, or other mineral lease within thirty (30) days of execution of this Lease. In the event that Tenant does not obtain such a Non-disturbance Agreement, Tenant may, but is not required to, terminate this Lease upon thirty (30) days written notice to Landlord. Landlord agrees to use commercially reasonable efforts to incorporate into any future oil, gas or other mineral lease or other conveyance covering the above-described lands or any part thereof during the Term of this Lease the following provisions: (a) any such lease or conveyance shall be in all respects subordinate and inferior to the rights, privileges, powers, options, immunities, and interests granted to Tenant under the terms of this Lease; and (b) within ten (10) days of creation of such lease or conveyance, the oil, gas,

and mineral lessee shall provide to Tenant a Nondisturbance Agreement in form reasonably acceptable to Tenant, and executed and acknowledged by Landlord and the holder of any such interest.

40. Hazardous Waste.

(a) The term Hazardous Materials shall mean any substance, material, waste, gas, or particulate matter that is regulated by any local governmental authority, the state in which the Leased Premises is located, or the United States Government, including, but not limited to, any material or substance which is (i) defined as a "hazardous waste," "hazardous material," "hazardous substance," "extremely hazardous waste," or "restricted hazardous waste" under any provision of state or local law, (ii) petroleum, (iii) asbestos, (iv) polychlorinated biphenyl, (v) radioactive material, (vi) designated as a "hazardous substance" pursuant to Section 311 of the Clean Water Act, 33 U.S.C. Sections 1251 et seq. (33 U.S.C. Section 1317), (vii) defined as a "hazardous waste" pursuant to Section 1004 of the Resource Conservation and Recovery Act, 42 U.S.C. Sections 6901 et seq. (42 U.S.C. Section 6903), or (viii) defined as a "hazardous substance" pursuant to Section 101 of the Comprehensive Environmental Response, Compensation, and Liability Act, 42 U.S.C. Sections 9601 et seq. (42 U.S.C. Section 9601). The term Environmental Laws shall mean all statutes specifically described in the foregoing sentence and all applicable federal, state, and local environmental health and safety statutes, ordinances, codes, rules, regulations, orders, and decrees regulating, relating to, or imposing liability or standards concerning or in connection with Hazardous Materials.

(b) Landlord represents and warrants that, to the best of Landlord's actual knowledge, (i) the Leased Premises have not been used for the use, manufacturing, storage, discharge, release, or disposal of Hazardous Materials, (ii) neither the Leased Premises nor any part thereof is in breach of any Environmental Laws, (iii) there are no underground storage tanks located on or under the Leased Premises, and (iv) the Leased Premises are free of any Hazardous Materials that would trigger response or remedial action under any Environmental Laws or any existing common law theory based on nuisance or strict liability. If any such representation is in any manner inaccurate or any such warranty is in any manner breached during the term of this Agreement (collectively, a "Breach"), and if there is any condition which is contrary to the foregoing representations and warranties that gives rise to or results in liability (including, but not limited to, a response action, remedial action, or removal action) under any Environmental Laws or any existing common law theory based on nuisance or strict liability, or causes a significant effect on public health, Landlord shall promptly take any and all remedial and removal action as required by law to clean up the Leased Premises and mitigate exposure to liability arising from such condition, and to keep the Leased Premises free of any lien imposed pursuant to, any Environmental Laws as a result of such condition.

(c) Landlord and Tenant agree as follows:

1. Tenant agrees to indemnify, defend, and hold harmless Landlord, its officers, partners, successors, and assigns from and against any and all debts, liens, claims, causes of action, administrative orders and notices, costs (including, without limitation, response and/or remedial costs), personal injuries, losses, damages, liabilities, demands, interest, fines, penalties, and expenses, including reasonable attorneys' fees and expenses, consultants' fees and expenses, court costs, and all other out-of-pocket expenses, to the extent any such items arise out of the release of any Hazardous Substances on or about the Leased Premises by Tenant or Tenant's employees, contractors, agents, successors, or assigns.

2. Landlord agrees to be responsible for any and all debts, liens, claims, causes of action, administrative orders and notices, costs (including, without limitation, response and/or remedial costs), personal injuries, losses, damages, liabilities, demands, interest, fines, penalties, and expenses, including reasonable attorneys' fees and expenses, consultants' fees and expenses, court costs, and all other out-of-pocket expenses, to the extent any such items (a) arise out of the release of any Hazardous Substances on or about the Leased Premises except by Tenant or Tenant's employees, contractors, agents, successors, or assigns, or (b) arise out of any Breach by Landlord, or (c) arose prior to or during the Term of this Lease and that failed to comply with (i) the Environmental Laws then in effect or (ii) any existing common law theory based on nuisance or strict liability.

3. Landlord agrees to be responsible for any and all debts, liens, claims, causes of action, administrative orders and notices, costs (including, without limitation, response and/or remedial costs), personal injuries, losses, damages, liabilities, demands, interest, fines, penalties, and expenses, including reasonable attorneys' fees and expenses, consultants' fees and expenses, court costs, and all other out-of-pocket expenses, suffered or incurred by Tenant and its grantees as a result of (a) any Breach by Landlord, or (b) any matter or condition of the Leased Premises involving Environmental Laws or Hazardous Materials that was not caused by Tenant or its officers, partners, successors, or assigns and that existed on or arose prior to or during the Term of this Lease and that failed to comply with (i) the Environmental Laws then in effect or (ii) any existing common law theory based on nuisance or strict liability.

4. Landlord represents and warrants to Tenant that Landlord has received no notice that the Leased Premises or any part thereof is, and, to the best of its knowledge and belief, no part of the Leased Premises is located within, an area that has been designated by the Federal Emergency Management Agency, the

Army Corps of Engineers, or any other governmental body as being subject to special hazards, including floodplains.

5. The covenants of this Section shall survive and be enforceable and shall continue in full force and effect for the benefit of Tenant and its subsequent transferees, successors, and assigns and shall survive the Term of this Lease and any renewal periods thereof.

41. Mechanic's Liens. Tenant will not cause any mechanic's or materialman's lien to be placed on the Leased Premises, and Tenant agrees to indemnify, defend, and hold harmless Landlord from any such lien from a party claiming by, through, or under Tenant.

42. Headings. The headings of sections and subsections are for convenient reference only and shall not be deemed to limit, construe, affect, modify, or alter the meaning of such sections or subsections.

43. Time of Essence. Time is of the essence for Landlord's and Tenant's obligations under this Agreement.

44. Severability. If any section, subsection, term, or provision of this Agreement or the application thereof to any party or circumstance shall, to any extent, be invalid or unenforceable, the remainder of said section, subsection, term, or provision of the Agreement, or the application of same to parties or circumstances other than those to which it was held invalid or unenforceable, shall not be affected thereby and each remaining section, subsection, term, or provision of this Agreement shall be valid or enforceable to the fullest extent permitted by law.

45. Further Assurances. Each of the parties agrees to do such further acts and things and to execute and deliver such additional agreements and instruments as the other may reasonably require to consummate, evidence, or confirm this Agreement or any other agreement contained herein in the manner contemplated hereby.

46. Dispute Resolution. Before instituting a court action, any dispute between Landlord and Tenant arising under this Agreement shall in the first instance be addressed by informal negotiations between Landlord and Tenant following an exchange of written notice of and response to said dispute and for a period of time not to exceed 45 days unless extended by mutual agreement.

47. Right to Record. Upon full execution, the Tenant may record the Lease or a Memorandum of Lease, setting forth the general terms of the Lease and such other information as Tenant deems necessary. Tenant shall provide the Landlord a copy of the recorded Memorandum of Lease after recordation.

48. Interpretation. Each party to this Agreement and its counsel have reviewed and revised this Agreement. The normal rule of construction to the effect that any ambiguities are to be resolved against the drafting party shall not be



employed in the interpretation of this Agreement or of any amendments or exhibits to this Agreement.

49. Date of Agreement. The parties acknowledge that certain obligations of Landlord and Tenant are to be performed within certain specified periods of time which are determined by reference to the date of execution of this Agreement. The parties therefore agree that wherever the term "date of execution of this Agreement," or words of similar import are used herein, they shall mean the date upon which this Agreement has been duly executed by Landlord or Tenant, whichever is the later to so execute this Agreement. The parties further agree to specify the date on which they execute this Agreement beneath their respective signatures in the space provided and warrant and represent to the other that such a date is in fact the date on which each duly executed this Agreement.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the day and year first above written.

LANDLORD:

TENANT:

By:

By: 

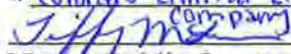
Title:

Title: CEO

Date:

Date: 10/6/16

STATE OF \_\_\_\_\_, COUNTY \_\_\_\_\_, to wit:  
The foregoing instrument was acknowledged before me in my jurisdiction aforesaid this \_\_\_\_\_ day of \_\_\_\_\_, 2016, by \_\_\_\_\_, who is \_\_\_\_\_ of \_\_\_\_\_, a \_\_\_\_\_, for and on behalf of the \_\_\_\_\_, who is, a \_\_\_\_\_.  
Notary Public for:  
My Commission Expires:

STATE OF Colorado, COUNTY OF Boulder, to wit:  
The foregoing instrument was acknowledged before me in my jurisdiction aforesaid this 6 day of October, 2016, by Paul Spencer, who is CEO of Clean Energy Collective, a Colorado Lim. Fed Liability <sup>(company)</sup>, for and on behalf of the Clean Energy Collective.  
  
Notary Public for: Clean Energy Collective  
My Commission Expires: 6/23/20

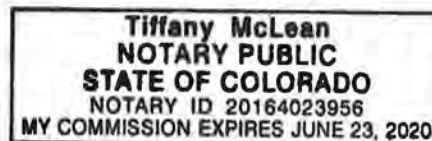


EXHIBIT A  
LEGAL DESCRIPTION OF LEASED  
PREMISES

Approximately 15 acres of land within the SWNW, Section 17, Township 3 South, Range 64 West, 6<sup>th</sup> PM, having a physical street address of 36055 E 48<sup>th</sup> Ave, Watkins, CO 80137.



**EXHIBIT B**

**TENANT'S SURVEY OF THE LEASED  
PREMISES**

To be revised by Tenant based upon the survey referenced in Section 2 of the Agreement.



EXHIBIT C



CLEAENE-03 SAWANTSV

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
9/1/2016

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Willis of North Carolina, Inc. c/o 26 Century Blvd P.O. Box 305191 Nashville, TN 37230-5191	<b>CONTACT NAME:</b> Willis Towers Watson Certificate Center <b>PHONE (A/C, No. Ext.):</b> (877) 945-7378 <b>FAX (A/C, No.):</b> (888) 467-2378 <b>E-MAIL ADDRESS:</b> certificates@willis.com	
	INSURER(S) AFFORDING COVERAGE      NAIC # <b>INSURER A:</b> Travelers Property Casualty Company of America      25674 <b>INSURER B:</b> Charter Oak Fire Insurance Company      25615 <b>INSURER C:</b> <b>INSURER D:</b> <b>INSURER E:</b> <b>INSURER F:</b>	
<b>INSURED</b>  Clean Energy Collective LLC 361 Centennial Parkway, 3rd Floor Louisville, CO 80027		

COVERAGES      CERTIFICATE NUMBER:      REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADOL	SOBR	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input checked="" type="checkbox"/> LOC <input type="checkbox"/> OTHER			660-5H57190A	09/01/2016	09/01/2017	EACH OCCURRENCE \$ 1,000,000 TRIAL/RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
B	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input checked="" type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS			BA-5H57190A	09/01/2016	09/01/2017	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> OCCUR <input checked="" type="checkbox"/> CLAIMS-MADE RETENTION \$			EX-5H57190A	09/01/2016	09/01/2017	EACH OCCURRENCE \$ 10,000,000 AGGREGATE \$ 10,000,000
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/ MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A	UB8D10144A15	11/01/2015	11/01/2016	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks & schedule, may be attached if more space is required)

<b>CERTIFICATE HOLDER</b>  Clean Energy Collective, LLC 361 Centennial Pkwy #300 Louisville, CO 80027	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  AUTHORIZED REPRESENTATIVE 
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ACORD 25 (2014/01)

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EXHIBIT D  
LANDLORD ACKNOWLEDGEMENT OF COLLATERAL ASSIGNMENT OF LEASE

This Landlord Consent to Collateral Assignment of Lease Agreement (this "Consent") is granted and made by \_\_\_\_\_ ("Landlord") in connection with certain Option Lease dated \_\_\_\_\_, 20\_\_ (the "Lease") by and between Landlord and \_\_\_\_\_ as Tenant.

1. Tenant has entered into a Loan Agreement ("Loan Agreement") with \_\_\_\_\_ ("Lender") for the extension of credit (the "Loan") in regard to a solar electric generating facility referred in said Loan Agreement as the "Solar Facility" and in said Lease and this Consent as the "Solar Garden".
2. Tenant as borrower under the Loan Agreement, has executed a Collateral Assignment in favor of Lender whereby Tenant is giving Lender a pledge, mortgage, and/or collateral assignment of all of its right, title and interest arising under the Lease as tenant of the Leased Premises, and providing Lender such other rights as set forth in such Collateral Assignment.
3. Landlord hereby consents to the Collateral Assignment of the Lease given from Tenant to Lender. Landlord acknowledges that in this connection, Lender shall be entitled to perform any obligation under the Lease in lieu of the performance of such obligation by Tenant, but that Lender shall not be obligated to perform any such obligation.
4. Landlord also acknowledges and agrees that the following statements are true and correct:
  - a. **Landlord is the fee owner of the Leased Premises described in the Lease Agreement, and (1) a true and correct copy of the Lease is attached hereto as Exhibit 1; (2) the Lease is in full force and effect; (3) Landlord has not modified, amended or changed the Lease in any material respect; (4) to the best of Landlord's knowledge, the Lease constitutes the entire agreement between Landlord and Tenant with respect to the Leased Premises; and (5) to the actual knowledge of Landlord, (i) there are no existing defaults by Tenant under the Lease, (ii) all amounts due under the Lease from Tenant to Landlord as of the date of this Consent have been paid; and (iii) there are no leases in effect to which the Tenant's use of the Leased Premises shall be subordinate.**
  - b. **Tenant owns the Solar Garden including without limitation all Site Improvements and Infrastructure (as defined in the Lease) and all related fixtures and personal property. Landlord does not own any personal property that is located on the Premises, and agrees that Landlord shall not pursue any liens or claims whatsoever against said Solar Garden, Site Improvements, Infrastructure, fixtures and personal property.**
  - c. **Except those interests appearing in the records of the county recorder(s) where the Solar Garden is situated, Landlord has not granted any interests in the Leased Premises to any person or entity other than Tenant, and as long as Tenant is not in default of the Lease, Landlord will ensure Tenant's quiet enjoyment of the Leased Premises in accordance with the terms and conditions of the Lease.**

5. Landlord also acknowledges and consents:
- a. To Tenant's execution of a leasehold mortgage or deed of trust encumbering Tenant's leasehold estate under the Lease and the Solar Farm.
  - b. To Lender's access to the Leased Premises as necessary to inspect or protect its Collateral.
  - c. To provide upon request of Lender, as a collateral assignee of rights under the Lease, subsequent signed statements indicating whether or not any defaults exist under the Lease, and addressing such other matters concerning the Leased Premises and the Lease as Lender may reasonable request.
  - d. To the recording by Tenant or Lender of the Collateral Assignment and this Consent of Landlord thereto.
6. Landlord acknowledges that all notices to Tenant under the Lease Agreement shall be sent to:

Attn: \_\_\_\_\_, Authorized Representative  
361 Centennial Drive, 3<sup>rd</sup> Floor  
Louisville, CO 80027  
Telecopier Number: (800) 646-0323  
Telephone Number: (970)692-2592

with a copy in each case to:

[Lender Information]

*Signatures on Next Page*





## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> November 1, 2016
<b>SUBJECT:</b> Great Outdoors Colorado (GOCO) Planning Grant Application
<b>FROM:</b> Aaron Clark & Nathan Mosley
<b>AGENCY/DEPARTMENT:</b> Parks & Open Space
<b>HEARD AT STUDY SESSION ON</b> N/A
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves submittal of a GOCO Planning Grant application requesting \$65,000 for planning and design of a natural play area at the 88 <sup>th</sup> Avenue Open Space.

### **BACKGROUND:**

The Parks & Open Space Department (POSD) is requesting BoCC approval to submit a GOCO Planning Grant application for planning and design of a “natural play” area at the 88<sup>th</sup> Avenue open space. Natural play is a concept that eschews traditional plastic-and-steel playgrounds in favor of materials such as stone and wood; this provides a variety of developmental and health benefits for children.

The POSD, in partnership with the Urban Drainage and Flood Control District, (UDFCD), will be making substantial improvements at 88<sup>th</sup> Avenue Open Space based on IGA signed by the County and UDFCD in November 2015. These will include erosion control (in the channel of the South Platte River), trail re-routing, habitat improvements, site amenities including restrooms and picnic shelters, and an additional parking lot along Riverdale Road. The POSD hopes to build a “natural play” area at 88<sup>th</sup> Avenue as part of these improvements; however, we do not have funding in place for this part of the project. A GOCO Planning Grant would provide funding for planning and design of the natural play area; with the design and cost estimates in hand, the POSD will be in a strong position to approach GOCO and other partners for funding of construction of the natural play area.



**AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

ADCO Parks & Open Space, Great Outdoors Colorado (GOCO), Urban Drainage & Flood Control District

**ATTACHED DOCUMENTS:**

Resolution  
Draft Grant Application

**FISCAL IMPACT:**

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

<b>Fund:</b> 27
<b>Cost Center:</b> 6107

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			<hr/> <hr/>

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<hr/> <hr/>

**New FTEs requested:**                     **YES**                     **NO**

**Future Amendment Needed:**                     **YES**                     **NO**

**Additional Note:**

The POSD has not requested budget approval for the natural play area component of the 88<sup>th</sup> Avenue Open Space. If the GOCO grant application is successful and we are awarded funds, we will then submit a budget amendment to request approval of funding within the Open Space Projects Fund (6107) for this project. This grant application is for the planning and design of the natural play area. The POSD would also seek grant funding in the future from GOCO and/or Adams County Open Space for the funds to then construct the natural play area after it has been designed. The POSD is making a grant request of \$65,000 and we anticipate the project will cost \$90,000 in total.

**RESOLUTION APPROVING A GREAT OUTDOORS COLORADO TRUST FUND (GOCO) PLANNING GRANT APPLICATION FOR A NATURAL PLAY AREA AT THE 88<sup>TH</sup> AVENUE OPEN SPACE**

WHEREAS, the County of Adams, State of Colorado (COUNTY), wishes to develop a “natural play” area at the 88<sup>th</sup> Avenue Open Space; and,

WHEREAS, the Great Outdoors Colorado Trust Fund (GOCO) has requested “Planning Grant” proposals for grants to be funded by GOCO; and,

WHEREAS, the 88<sup>th</sup> Avenue Open Space Natural Play Area meets the criteria for submittal to GOCO as a grant; and,

WHEREAS, the County desires to maximize funding opportunities for parks improvements and playground development; and,

WHEREAS, Adams County staff have prepared a grant application for funding an 88<sup>th</sup> Avenue Natural Play Area Planning Grant.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Adams County 88<sup>th</sup> Avenue Natural Play Area planning grant application to the Great Outdoors Colorado Trust Fund, a copy of which is attached hereto and incorporated herein by this reference, is hereby approved.

BE IT FURTHER RESOLVED, that the Chairman is authorized to sign the GOCO grant application on behalf of Adams County.



## Planning Grants

Great Outdoors Colorado is pleased to announce the 2017 grant round for Planning projects. Planning grants are designed to assist Local Governments and their partners plan for future outdoor recreation projects. Grants requests of up to \$75,000 will be considered.

Through the planning grant program GOCO seeks to further its new strategies of Protect, Connect and Inspire by funding planning efforts that are forward thinking a further GOCO's mission. A copy of GOCO's new Strategic Plan can be found here (<http://www.goco.org/our-story/vision>).

## Grant Information

**IMPORTANT DATES:** Applications must be submitted to the GOCO portal no later than 5pm on November 17<sup>th</sup>, 2016. Grant awards will be made on April 2017 (date subject to change).

**MATCH REQUIREMENTS:** GOCO Local Government grants are matching grants. The project Applicant and Partners are required to commit financially to the project in order to apply. The Planning program requires a minimum match of 25% of the total project cost, a minimum of 10% must be cash. GOCO will not fund more than 75% of the total project cost.

**REIMBURSEMENT GRANTS:** Funds are disbursed on a reimbursement basis. This means that your community will be required to expend some funds prior to requesting payment from GOCO, if a grant is awarded. GOCO offers two payment options, 1) an interim payment (progress) of up to 50% of the grant amount prior to completion with the remaining 50% being paid when the project is complete or one lump sum final payment of the entire grant amount. No funds included in the project can be expended prior to grant award.

**ELIGIBLE APPLICANTS:** To apply directly to GOCO's Local Government Program as the applicant your organization must be an incorporated municipality or special district that receives Conservation Trust Funds (CTF) from the Department of Local Affairs. If you do not qualify to

apply directly to GOCO, in the case of school districts, non-profit organizations, etc., sponsorship scenarios are possible. In these instances, an eligible local government or special district within your area may partner with your organization to pursue the project. The eligible organization will be responsible for obtaining the necessary approvals via a resolution from their governing body, entering into an intergovernmental agreement (or the like) with the ineligible organization and signing off on all necessary grant materials. At the time of application only a draft IGA, MOU, etc. is required.

**OPEN SPACE FUNDING:** The GOCO Board has allocated up to \$100,000 in Open Space funding to the Planning Grant program to enable Land Trusts and their partners to request planning grant funds. If you intend to apply for Open Space funding, please contact Jake Houston to ensure that your project meets the eligibility requirements.

**TIMELINE FOR COMPLETION:** Planning grants are required to be completed within two years of the grant award date; grants will be awarded in April of 2017.

**PROJECT TYPES:** GOCO's Mission is "To help preserve, protect, enhance and manage the state's wildlife, park, river, trail and open space heritage." In that light, GOCO Local Government funds are only available to projects that pursue these goals and further the state's outdoor recreation opportunities. Projects funded in the past include, but are not limited to, master plans for park and recreation departments, site specific master plans, regional trail plans, master plans for river corridors and open space master plans. Planning projects must be strategic and forward thinking in nature. Additionally, planning efforts that focus on protecting Colorado's land, water and wildlife and increasing access and opportunities to connect people to the outdoors are encouraged.

**Eligible Project Costs:** Consultant costs, professional services such as legal, facilitation, professional planning, costs that directly relate to the planning activity such as inventories, design, GIS/Mapping, printing, costs for public engagement such as public meetings, focus groups, surveys, and web based outreach.

**In-kind Match:** Discounts or a donation on any of the above eligible project costs can be used as in-kind match.

**Ineligible Project Cost/In-kind Match:** Grant writing or administration costs, volunteer time, future costs of land acquisition and facility development, costs of existing operations, staff time

or indirect costs, events, publications, advertising and/or similar event items for fundraising or public meetings.

FUNDS AVAILABLE: Up to \$600,000 is available for GOCO's Planning Grant program in the 2017 grant cycle.

## Technical Assistance

GOCO will provide in-person grant writing workshops this summer:

Aug. 9	1 pm – 3 pm	250 N. 11 <sup>th</sup> St.	Windsor
Aug. 10	10 am – 12 pm	420 N. 5 <sup>th</sup> St.	Sterling
Aug. 11	1 pm – 3 pm	100 Wulfsohn Rd.	Glenwood Springs
Aug. 12	9 am- 11 pm	178 W Jefferson Ave.	Hayden
Aug. 16	10 am- 12 pm	200 S. Main St.	Pueblo
Aug. 17	10 am – 12 pm	2222 Old Sanford Rd.	Alamosa
Aug. 18	10 am – 12 pm	2700 Main Ave.	Durango
Aug. 19	1 pm – 3 pm	25 Colorado Ave.	Montrose
Aug. 22	10 am – 12 pm	700 Jefferson County Pkwy	Golden

See [www.goco.org/blog/2016-grant-writing-workshops-and-listening-tour](http://www.goco.org/blog/2016-grant-writing-workshops-and-listening-tour) for updates.

## Online Application Submittal Instructions

GOCO now only accepts grant applications online. We estimate this could save up to 100,000 pieces of paper each year. We hope you'll find this method of applying for GOCO grants to be easy and efficient.

Please Note: Planning applications may be submitted between November 5<sup>th</sup> and November 17<sup>th</sup>, 2016.

## How to Apply:



1. Complete this application and gather all supporting materials listed on the checklist on page seven of this document.
2. Upload your entire application as one combined PDF document. Letters of support, map(s), photos, etc. should be combined with the application questionnaire and uploaded as one single PDF.
3. Register at the GOCO Grantee Portal. To register, [go to this page](#)<sup>1</sup> and click on the "register" button.
  - When registering be sure to include an organization name, your first and last names, and a valid email address. If you already receive emails from GOCO, use the same email address in the portal registration process.
  - To submit an application, your portal profile must be linked to the applicant organization in our database, so it's important that you enter an organization at the time you register. Don't worry about entering an exact match for what might be in our database; we'll make sure your portal registration entry gets attached to the right organization.
  - The organization with which you're affiliated will be editable only by GOCO staff. If you change organizations or if you need to submit an application on behalf of a different organization than the one you designated when you registered, please contact [portal@goco.org](mailto:portal@goco.org) and we'll make the necessary changes.
4. When you log in, you'll be at your "portal dashboard." At first it will be empty, but once you create an application, it will show up here.
5. Above the portal dashboard, you will find a link to the page where you'll start a new grant application.
6. Complete the portal application:
  - Fill in all fields in the "Details" tab. All fields are required.
  - Upload your finished application in the "Attachments" tab.
    - i. Insert additional documents like maps, resolution, draft IGA and support letters at the end of your application. Follow the instructions provided with your application to make sure you've included all the necessary attachments.
    - ii. The document must be smaller than 25MB. (One option to reduce a large PDF if you don't have the full Acrobat software is to upload it to [www.tinypdf.com](http://www.tinypdf.com))
    - iii. To upload, click the "Select" button to locate the document. Click "Upload" to attach it to the application.
  - When you're all done and ready to submit, go to the "Review & Submit" tab and click the Submit button.

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<sup>1</sup> <http://tinyurl.com/GOCO2017Planning>

7. You can save and come back to your application at any time. But once you've submitted your application, you will not be able to edit it. Once submitted, you can still view the application. If GOCO staff finds something you need to change in the application, they will contact you with instructions on how to do that.

## Other Useful Tips

- You can register for the portal and start your application at any time during the process.
- You can save your application and return to it at any time. The only field you need to fill in to save your application is the Project Title.
- To edit an in-process application, click the icon in the "Edit" column of the portal dashboard. It looks like this: 
- To see a read-only version of your application, click the icon in the "View" column. It looks like this: 
- When working on or viewing an application, you can return to the portal dashboard by clicking the "My Submissions" link. Be sure to save your application first!
- If you forget your portal username or password, please don't create a new portal account. Instead:
  - To recover your username, send an e-mail from the address you used during registration to [portal@goco.org](mailto:portal@goco.org). Include the first name, last name, and organization you used when you registered for the portal.
  - If you forget your password, re-set it using the "Can't access your account?" link on the portal registration page.
- A grant application started on or submitted through the portal is visible only to the individual who created it; no one else at your organization will be able to access it without being granted permission to do so. To give someone else access to your online application, have them establish a portal account. Then, e-mail [portal@goco.org](mailto:portal@goco.org) and ask that the application be shared with that person.



APPLICANT INFORMATION (ELIGIBLE ENTITY)		
Name: Adams County Parks & Open Space		
Mailing Address: 9755 Henderson Road, Brighton CO 80601		
Applicant Contact Name: Aaron Clark		Title: Natural Resource Specialist
Telephone:(303) 637-8005	Email:aclark@adcogov.org	Are you the Primary Contact? Yes
Do you currently have an open GOCO grant? If yes, please provide grant number(s): And, you are required to contact staff prior to completion of GOCO application		
<b>Yes, contract # 14366</b>		

PARTNER INFORMATION (IF APPLICABLE)		
Name: <b>N/A</b>		
Mailing Address:		
Partner Contact:		Title:
Telephone:	Email:	Are you the Primary Contact?

PROJECT INFORMATION	
Project Title: 88 <sup>th</sup> Avenue Open Space—Natural Play Area Planning & Design	
Grant Request: \$65,000	Total Project Cost: \$ 90,000
Percent of overall match (% of total project cost): 28%	Percent of Cash match (% of total project cost): 28%
County of Service: Adams	City (please include cross streets): Thornton, Riverdale Rd & Bellaire Street

Brief Project Description (**In 100 words or less**), describe the proposed project and how it will benefit your community:

Adams County seeks a Planning Grant in order to perform planning and design work for a nature-based play area at the County's 246-acre 88<sup>th</sup> Avenue Open Space. 88<sup>th</sup> Avenue is an undeveloped future open space park that Adams County has been planning for recreational development for a number of years. This new play area will be a focal point for the 88<sup>th</sup> Avenue open space and is part of the County's plan to bring accessibility, recreation, and environmental improvements to the entire park.

## APPLICATION CHECKLIST

Please upload all attachments to the GOCO application portal address found on page 3.

**All application attachment samples and templates can be found here**

<http://www.goco.org/grants/apply/planning/application>

- Signed Resolution from Governing Body
- Draft Intergovernmental Agreement, or other contract with the project partner or a signed letter of support from project partner (if necessary)
- Budget Form (letters from cash contributing sponsors to verify funding are recommended)
- Preliminary Timeline Estimate
- Response to Selection Criteria Narrative Questions (responses **may not exceed 7 pages**)
- Attachments to Selection Criteria Narrative:
  - Letters of support (must be submitted with application)
  - Map(s) identifying the project location (Using Google Earth or Google Maps)
  - Site Photos
  - Documentation of any opposition to the project, if applicable

By signing below, the applicant certifies that all of the information presented on this summary form and throughout the application is true and accurate and will provide further information, if necessary, to GOCO upon request.

Authorized Signature: \_\_\_\_\_ Date: \_\_\_\_\_

(From applicant organization)

Printed Name and Title: Aaron Clark, Natural Resource Specialist

# APPLICATION QUESTIONNAIRE

1. PLAN TYPE: What type of plan are you proposing? Describe the vision, goals and desired outcomes of the project. (25 pts.)
- 

Adams County is applying for a GOCO Planning Grant in order to fund planning and design for a natural play area at the County's 88<sup>th</sup> Avenue open space property. This is part of a larger effort to transform the 88<sup>th</sup> Avenue open space into an exceptional neighborhood and regional resource. Natural play has been shown to have a range of benefits for both the physical and mental well-being of children; this will be a place where they can begin to have a connection with nature.

The 88<sup>th</sup> Avenue open space stands along Riverdale Road along the eastern boundary of the City of Thornton. The South Platte River Trail runs through the park, and it is a valuable resource for the neighborhoods in this area. After years of planning and community outreach, Adams County is in a position to begin a series of extensive upgrades to this open space, in order to enhance its value to both local and regional visitors. Among the desired improvements to the park is a "natural play" area; this design concept eschews the traditional plastic-and-steel playground for one made up of natural materials such as logs and boulders. This design has a wide variety of benefits for children. For example, natural play provides experiences for a much broader scope of physical ability levels than traditional playgrounds, which tend to favor more athletic children.

Funding is in place for most of the improvements intended for the project, but we do not have funding for the natural play area at this time. This Planning Grant would fund planning and design for the natural play area, including preliminary cost estimates for construction of the play area. With this in hand, Adams County will be in a position to seek funding for construction.

2. PLANNING PROCESS: What specific steps will you take to complete the planning process? What deliverables will the effort produce? (25 pts.)
- 

If our Planning Grant application is successful, Adams County will begin the planning and design process for the natural play area. Adams County has already engaged CDM Smith, a civil engineering firm, with DHM Design as the landscape architect on the team that will be the lead for the natural play area.

A steering committee composed of representatives from the project stakeholders (Adams County and Urban Drainage) will guide and direct the planning and design work. An initial meeting will establish project parameters, and the consultant will present various design ideas to the steering committee. DHM Design has brought Bienenstock Consulting & Design on to help with the design of the natural play area. DHM and Bienenstock will assist the committee in generating ideas within the established project parameters and discuss these with a CPSI (Certified Playground Safety Inspector). After these discussions, the consultant will develop an 80% complete 3D model for the design of the playground, along with preliminary cost estimates.

After any revisions, the final plan will be complete. Deliverables for the project will be:

- Two schematic design concept iterations of a single schematic design.
- 3D computer model renderings in support of a single design - in .JPEG format (DHM to provide final 3D renderings).
- Storyboard in .PDF format with precedent images of final schematic design features.
- ASTM Compliance Review.
- Preliminary cost estimates for each play node.
- SWMP Plan and Erosion Control Permitting
- Permitting and Approvals/City of Thornton
- 50% Construction Drawings

The focus of the planning effort will be to manage designs, permitting, and other concerns to the point that construction of the natural play area will be able to take place in short order. We will begin with a competitive bid process to select a contractor to take on the work.

3. NEEDS/CHALLENGES: What are the biggest challenges and overall needs of the planning project? Identify the specific stakeholders and partners that will be engaged in the planning process and discuss their involvement. (25 pts)
- 

The largest challenge facing the planning project at the moment is that we do not have funding in place to perform the work; that is why we are making this Planning Grant application. In addition to this basic fact, however, there are other challenges facing the project. Among these is the fact that Adams County has never built a natural play area before; we don't have any institutional experience with this sort of development. This is

a major factor in our application for this Planning Grant, which will help us access needed expertise.

Natural play requires “found materials” in order to be implemented—we aren’t able to have a made-to-order cottonwood trunk delivered to the job site. As a result of this, even now we have been speaking with neighbors that may have materials we can use. We have also instructed our own staff to keep back any large trunks that are cut as a result of maintenance operations. Nonetheless, finding and transporting suitable materials may present a significant hurdle.

Finally, our desire is to have the construction of the natural play area done as part of the larger 88<sup>th</sup> Avenue project; it will be a significant cost savings to do the work as long as our contractor is already mobilized and on-site. This presents a time constraint which heightens the urgency of this Planning Grant application.

Our partners on the 88<sup>th</sup> Avenue project are the Urban Drainage and Flood Control District (UDCFD), which is a funding partner, and which is handling management of the project. Colorado Parks and Wildlife (CPW) have also contributed to the 88<sup>th</sup> Avenue project through a Fishing is Fun grant.

4. IMPLEMENTATION: After the plan is completed, what do you plan to do to ensure its successful implementation? Discuss any partnerships that are or will be established to ensure timely implementation. Describe the impact that this plan will have on your organization and/or its partners as well as the landscape of outdoor recreation/conservation in the state of Colorado. Why should GOCO participate in the development of the proposed plan? (25 pts)
- 

Once the planning and design of the natural play area are completed and cost estimates are in hand, we will be in a position to implement the plan. The obvious first hurdle will be funding, and the County will seek to partner with organizations such as GOCO that will see the value in construction of this amenity. We will also apply for Adams County Open Space funding to help completed the project. Adams County has partnered with Urban Drainage for all of the construction work that will take place at 88<sup>th</sup> Avenue, and this natural play area is no exception. We already have consultants in place to undertake the work, and our desire is to construct this natural play area along with the wide variety of other improvements at 88<sup>th</sup> Avenue.

This natural play area will be a major step forward in bringing the benefits of open space to the many neighborhoods and schools close by 88<sup>th</sup> Avenue. It will provide an easily-

accessible area for children to begin developing a relationship with and respect for nature. This natural play area will be one of the first of its kind around metro Denver. In this, it can act as a pilot project and a demonstration of success for other entities that may be considering natural play but that may have concerns. By showing the value of such a project, Adams County can act as a role model statewide for the benefits of natural play. Our example will serve as a catalyst for the development of other natural play areas throughout Colorado.

## Contacts

We encourage you to contact us in advance of tackling the application to discuss your project and answer any questions or concerns that you may have. We want to see your project be successful and will provide any assistance that we can to make that happen. We encourage you to attend the technical assistance workshops, request sample grant applications and submit a draft application (by November 3<sup>rd</sup>) for review. We look forward to working with you and your community!



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Program Manager  
303.226.4517  
[jhouston@goco.org](mailto:jhouston@goco.org)



Madison Brannigan  
Program Coordinator  
303.226.4526  
[mbrannigan@goco.org](mailto:mbrannigan@goco.org)





## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> November 1, 2016
<b>SUBJECT:</b> PRC2016-00004 Pomponio Terrace Filing 1 and 2
<b>FROM:</b> Norman Wright, Director, Community and Economic Development
<b>AGENCY/DEPARTMENT:</b> Community and Economic Development
<b>HEARD AT STUDY SESSION ON:</b> N/A
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners Continues the proposed requests to November 15, 2016 meeting.

### **BACKGROUND:**

The Board of County Commissioners (BOCC) considered this case on October 4, 2016 and continued approval of the proposed final plat and subdivision improvements agreement to the November 1, 2016 meeting. The BoCC approved a final development plan associated with request on October 4, 2016. The purpose for continuing the final plat and subdivision improvements agreement was to allow the applicant to provide associated collateral for public improvements required with the application. As of writing this report, the applicant is still working with their bank and has been unable to provide the required collateral; however, the applicant has informed staff that they have obtained approval from their bank and will provide the required collateral prior to the November 15, 2016 meeting. Therefore, staff is recommending this project to be continued to the November 15, 2016 meeting.

### **AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Community and Economic Development, Transportation Department, County Attorney, Finance Department.

### **ATTACHED DOCUMENTS:**

Resolution  
Staff Report

**FISCAL IMPACT:**

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

**Fund:** NA

**Cost Center:** NA

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			<hr/>

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<hr/>

**New FTEs requested:**             **YES**             **NO**

**Future Amendment Needed:**     **YES**             **NO**

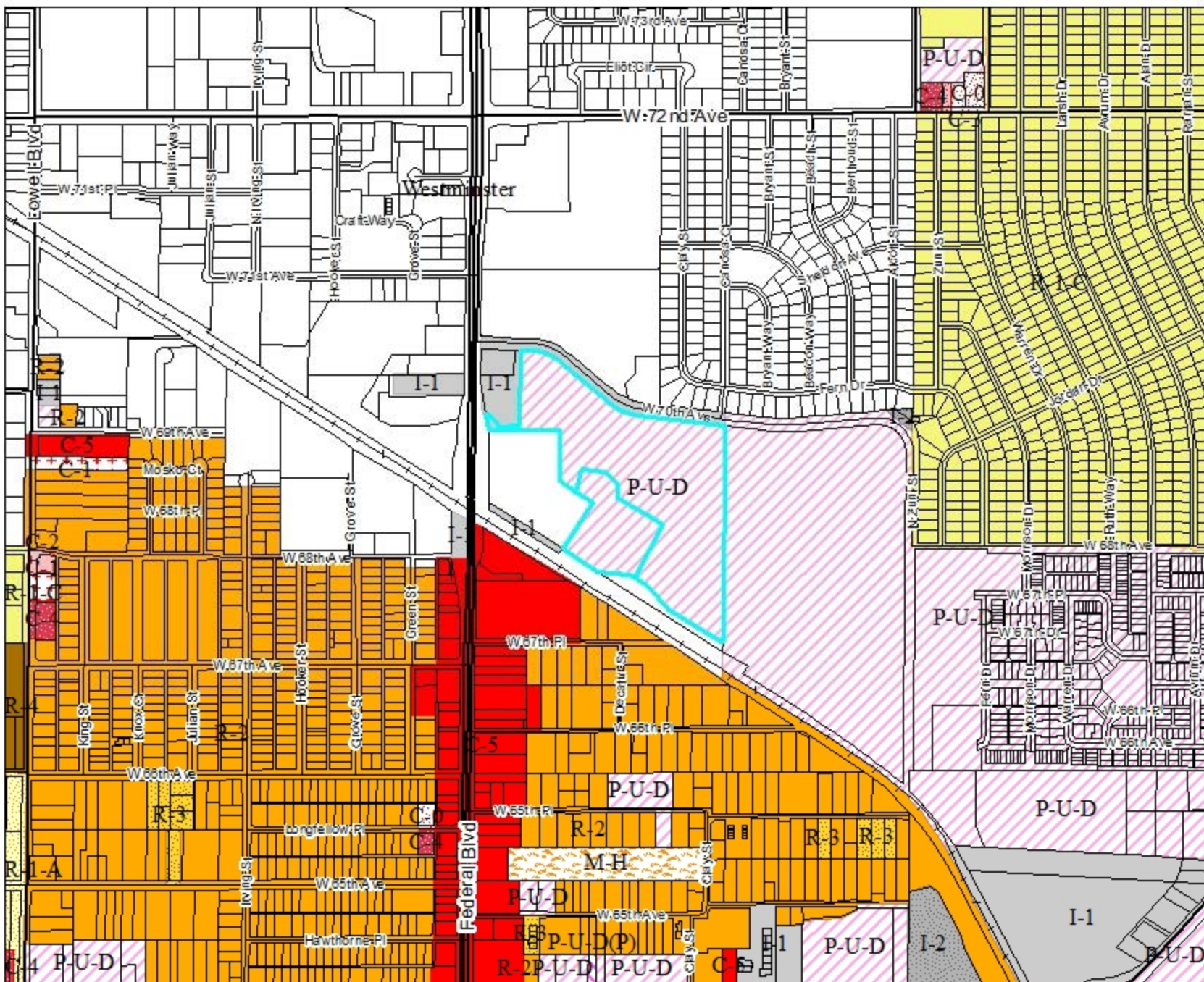
**Additional Note:**

RESOLUTION CONTINUING LAND USE CASE #PRC2016-00004 POMPONIO TERRACE  
FILING 1 AND 2

WHEREAS, a public hearing was scheduled on the 1st day of November, 2016, regarding the application of Pomponio Terrace, LLC, Case # PRC2016-00004, requesting 1) Major Subdivision (Final Plat) to create 74 lots on approximately 11.791 acres in the P-U-D; 2) Major Subdivision (Final Plat) to create 52 lots on approximately 8.323 acres in the P-U-D; 3) Subdivision Improvement Agreement (SIA) for Filing No. 1; and 4) Subdivision Improvement Agreement (SIA) for Filing No. 2; and,

WHEREAS, it is necessary to continue public hearing on this application to allow the applicant to provide collateral for public improvements required with the application.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the public hearing regarding Case# PRC2016-00004, POMPONIO TERRACE FILING 1 AND 2, be continued to the 15th day of November, 2016, at the hour of 9:30 a.m.



### LEGEND

- ★ Special Zoning Conditions
  - 3 Section Numbers
  - Railroad
  - Major Water
  - Zoning Line
  - Sections
- Zoning Districts**
- A-1
  - A-2
  - A-3
  - R-E
  - R-1-A
  - R-1-C
  - R-2
  - R-3
  - R-4
  - M-H
  - C-0
  - C-1
  - C-2
  - C-3
  - C-4
  - C-5
  - I-1
  - I-2
  - I-3
  - CO
  - PL
  - AV
  - DIA
  - P-U-D
  - P-U-D(P)
  - ⊞ Airport Noise Overlay

Pomponio Terrace Filing 1 & 2

PRC2016-00004

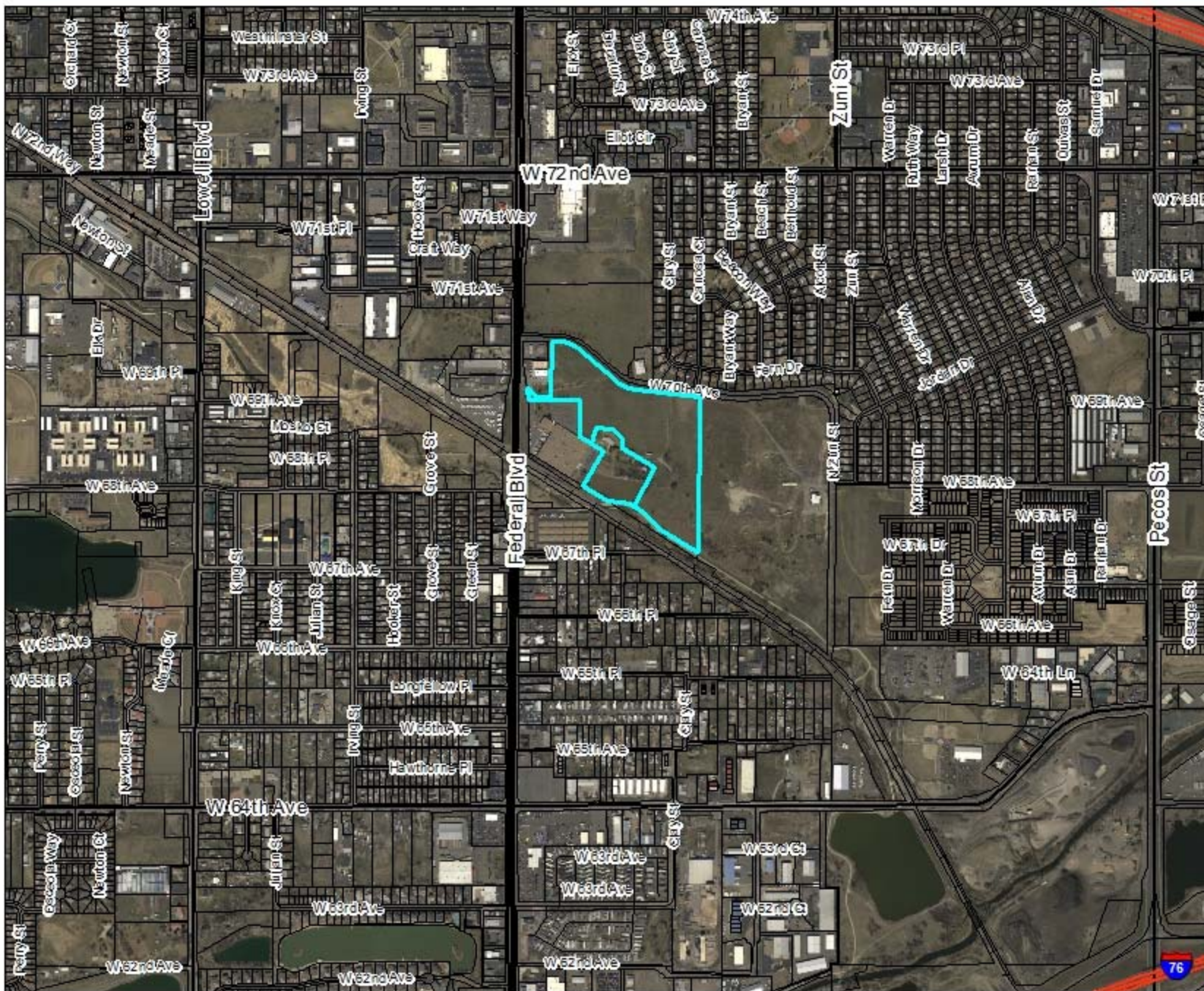


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### LEGEND

- ★ Special Zoning Conditions
- 3 Section Numbers
- +— Railroad
- Major Water
- Zoning Line
- Sections
- ⊞ Airport Noise Overlay
- ⊞ Incorporated Areas

**Pomponio Terrace Filing 1 & 2**  
**PRC2016-00004**

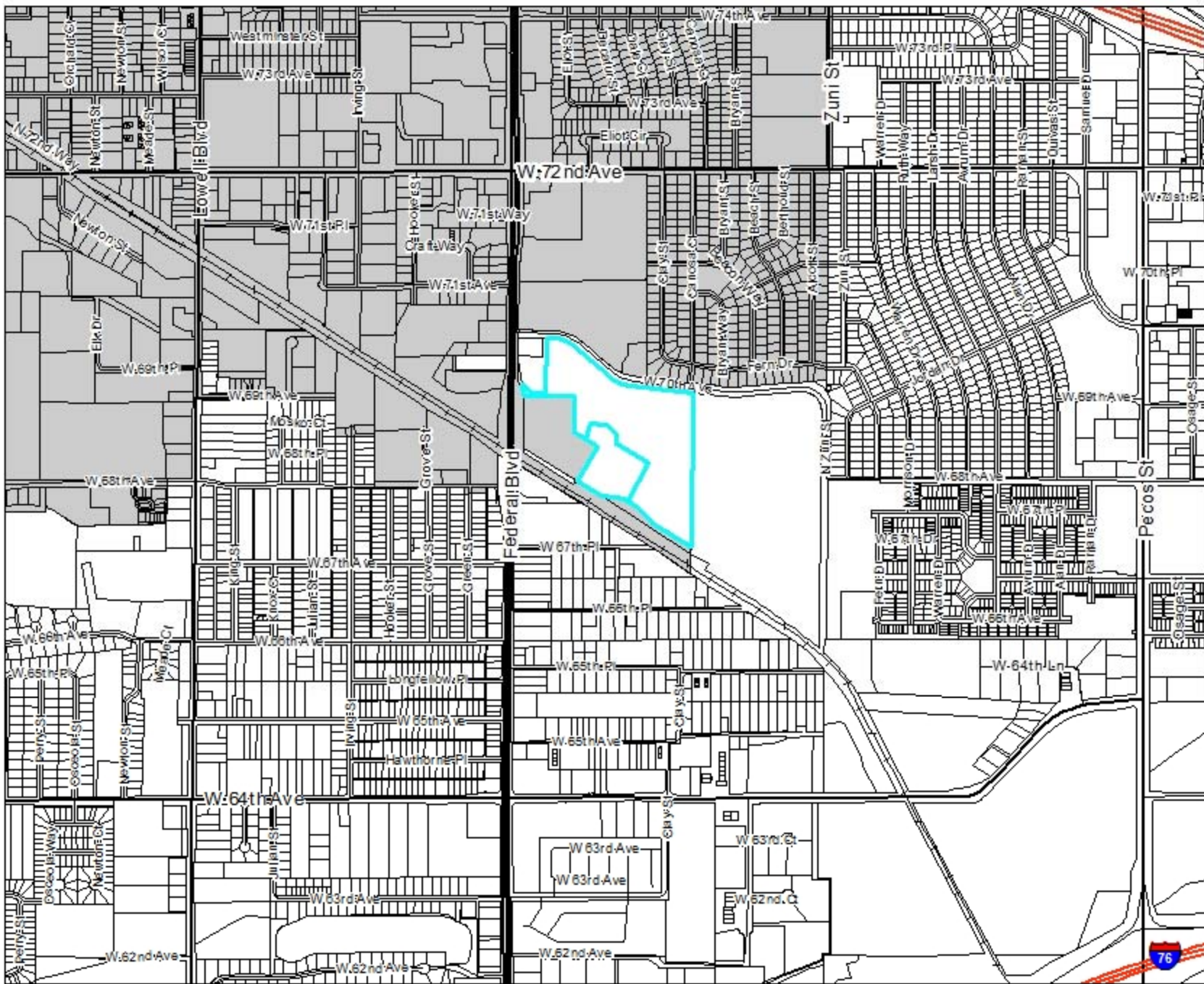


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**LEGEND**

- ★ Special Zoning Conditions
- 3 Section Numbers
- +— Railroad
- Major Water
- Zoning Line
- ▭ Sections
- ▨ Airport Noise Overlay
- ▭ Incorporated Areas

**Pomponio Terrace Filing 1 & 2**  
**PRC2016-00004**

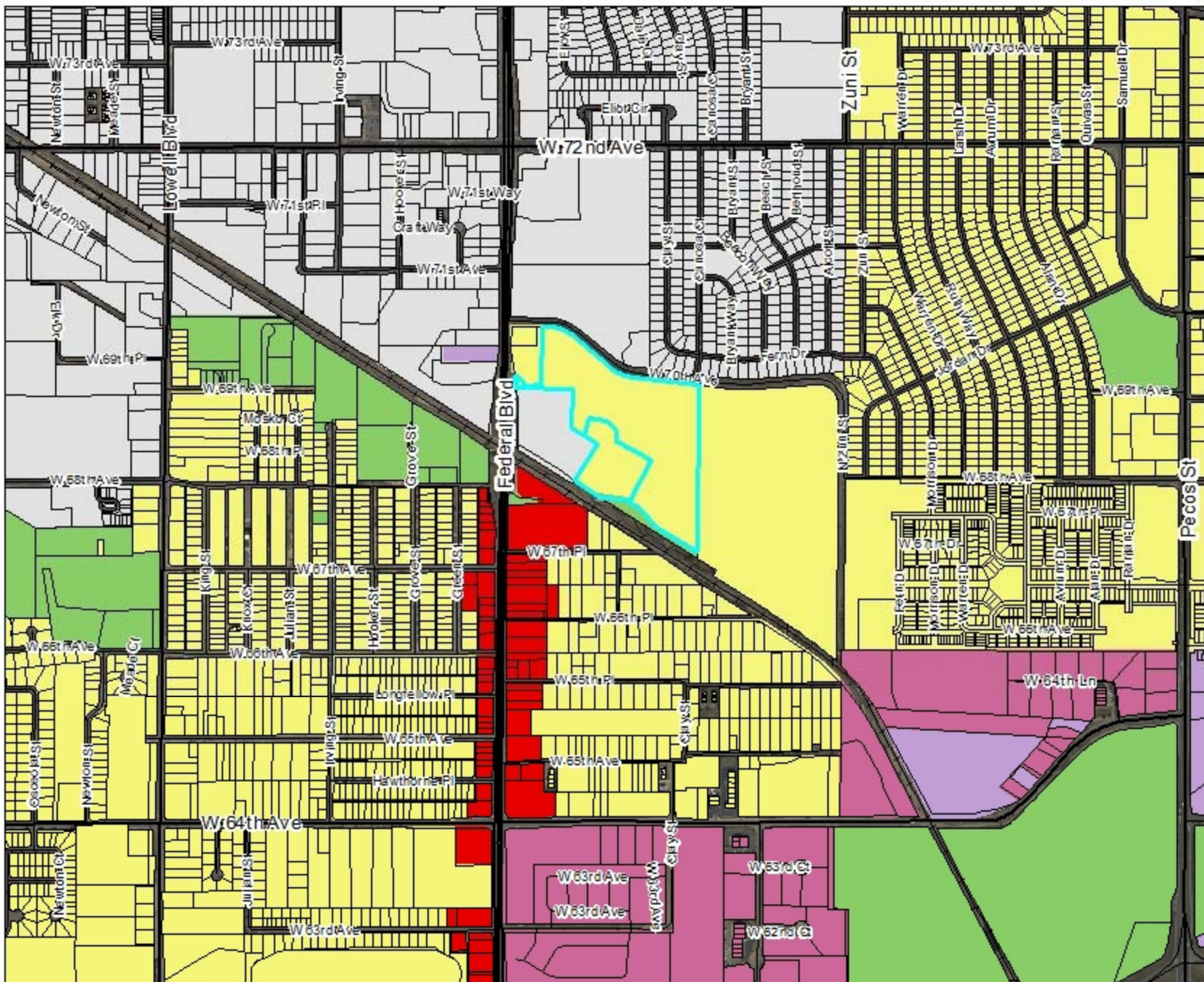


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**LEGEND**

- ★ Special Zoning Conditions
- 3 Section Numbers
- +— Railroad
- Major Water
- Zoning Line
- Sections
- ⋯ Airport Noise Overlay
- ⊞ Incorporated Areas

**Pomponio Terrace Filing 1 & 2**  
**PRC2016-00004**



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**COMMUNITY AND ECONOMIC DEVELOPMENT  
DEPARTMENT**

**Board of County Commissioners**

**November 1, 2016**

<b>Case No.: PRC2016-00004</b>	<b>Case Name: Pomponio Terrace Final Development</b>
Owner's Name:	Pomponio Terrace Holdings LLC.
Applicant's Name	James Merlino
Applicant's Address:	1140 US HWY 287 #400-125, Broomfield, CO, 800200
Location of Request:	6856 Federal Blvd.
Nature of Request:	1) Major Subdivision (Final Plat) to create 74 lots on approximately 11.791 acres in the P-U-D; 2) Major Subdivision (Final Plat) to create 52 lots on approximately 8.323 acres in the P-U-D; 3) Subdivision Improvement Agreement (SIA) for Filing No.1; and 4) Subdivision Improvement Agreement (SIA) for Filing No. 2.
Site Size:	21.4 acres +/-
Zone District:	Planned Unit Development (PUD)
Future Land Use:	Urban Residential
Proposed Use:	Residential
Existing Use:	Vacant
Hearing Date(s):	<b>BoCC: November 1, 2016 (5:30 pm)</b>
Hearing Location:	4430 S. Adams County Parkway, Brighton, CO 80601 / Public Hearing Room 1 <sup>st</sup> Floor
Report Date:	October 25, 2016
Case Manager:	Emily Collins
Staff Recommendation:	Continuance to the Board of County Commissioners November 15, 2016 meeting.

**BOCC UPDATE**

The Board of County Commissioners (BOCC) considered this case on October 4, 2016 and approved the final development plan associated with the request; however, continued the proposed final plats and associated Subdivision Improvement Agreements to November 1, 2016. The purpose for continuing these requests was to allow the applicant to provide collateral for public improvements required with the application. As of writing this report, the applicant has been unable to provide the collateral documents. However, he has informed staff that they have obtained approval from their bank to issue the bond and will provide the documents prior to



November 15, 2016; therefore, staff is recommending a continuance of these requests to the November 15<sup>th</sup> meeting.

Pursuant to Section 2-02-17-04-04, final plat review procedure, this item would be scheduled on the consent agenda. The Board of County Commissioners, however, may take testimony from the public at the public hearing.

### **SUMMARY OF PREVIOUS APPLICATIONS**

**On October 4, 2016 the Board of County Commissioners approved a final development plan on the property. The final development plan was reviewed with the subject request, including preparation of the staff report. No material changes have been made to the staff report provided to the Board of County Commissioners for approval of the final development plan.**

On February 17, 2015, the Board of County Commissioners approved 1) Major subdivision (preliminary plat) to create 248 single family lots; 2) Rezoning from I-1 to Planned Unit Development; 3) Preliminary Development Plan (PUD-P) to create a residential development, & 4) a Waiver from the Subdivision Design Standards to allow for private roads and for the creation of lots that do not have direct access to a dedicated, constructed and maintained public road within the subject development (Pomponio Terrace Subdivision).

### **SUMMARY OF APPLICATION**

#### **Background**

Pomponio Terrace Holdings, LLC, the applicant, is requesting: 1) Final Development Plan (FDP) to allow 126 lots on approximately 21.4 acres in the Planned Unit Development (P-U-D) zone district; 2) Major Subdivision (Final Plat) to create 74 lots on approximately 11.791 acres in the P-U-D; 3) Major Subdivision (Final Plat) to create 52 lots on approximately 8.323 acres in the P-U-D; 4) Subdivision Improvement Agreement (SIA) for Filing No.1; and 5) Subdivision Improvement Agreement (SIA) for Filing No. 2 of the Pomponio Terrace Planned Unit Development.

The site is approximately 21.4 acres and located west of Zuni Street, east of Federal Boulevard, south of 70<sup>th</sup> Avenue, and zoned as a Planned Unit Development (PUD). The Board of County Commissioners (BoCC) approved a Preliminary Development Plan (PDP) for the PUD in 2014. Per Section 2-02-10-04-01 of the County's Development Standards and Regulations, a Final Development Plan and Plat is required prior to development of the site. The proposed request is to adhere to requirements for obtaining a Final Development Plan and Plat.

In addition, the applicant is proposing two final plats as part of the first phase of development. This allows the developer to phase required public improvements while still complying with all County subdivision requirements.

## **Development Standards and Regulations Requirements:**

### **Final Development Plan:**

A Final Development Plan (FDP) is a site-specific development plan which describes and establishes the type and intensity of uses for a specific parcel of land. Per Section 2-02-10-04 of the Adams County Development Standards and Regulations, a final plat and development agreements are required to be submitted with a final development plan. The final plat and development agreement outlines public improvements required with the development.

Below is the summary of housing types, design information, parking and open space areas proposed with the FDP:

### **Housing Types & Designs**

Pomponio Terrace Filing No. 1 and No. 2 includes two different single-family home types listed below:

- **Single Family Detached Rear Loaded:** Consists of homes designed for residents who want a lower amount of outdoor space to maintain and are on lots with rear, alley-loaded garages. Proposed lot sizes vary in width and depth. The sizes of homes in this housing type range from 1,100 to 1,400 square feet. Overall, the applicant is proposing 75 units of this housing type in the FDP.
- **Single Family Detached Front Loaded:** Consists of homes designed for buyers and growing families desiring a comparatively larger home and private yard space. Sizes of residences vary in square footage and range from 1,300 to 1,500 square feet. Overall, the applicant is proposing 51 units of this housing type in the FDP.

The subject FDP includes architectural and landscape design guidelines. In addition to the guidelines, all builders and homeowners are required to go through a Design Review Committee (DRC) review established by the metropolitan district established with governing authority in the PUD (i.e the Pomponio Terrace Metropolitan District). All builders and homeowners shall also follow all required County review processes as well.

### **Parking:**

The parking plan proposed with the FDP shows a minimum of two parking spaces per dwelling unit with an overall ratio of 5.4 spaces per unit. A total of 678 parking spaces are proposed for the 126 units. Three-hundred and twenty-four (324) of the overall parking will be on-street and three-hundred and fifty-four (354) will be for garage and driveway parking. The FDP also shows internal local street systems within the development. These streets are designed to work in conjunction with proposed private alleys in the development.

Further, the proposed plan shows alleys will be used to access garages for a majority of the homes. The rear-loaded homes within the development will have a minimum of two off-street parking spaces. No parallel parking shall be permitted in alleys as they are dedicated for fire lanes,

passenger, and garbage vehicle access only. The FDP shows all proposed homes will have access to on-street parking along local streets within the development.

On-street parking is provided along W. 69<sup>th</sup> Avenue, W. 68<sup>th</sup> Avenue, W. 67<sup>th</sup> Avenue; Eliot Street, Decatur Street, Clay Street, and Canosa Street (see Exhibit 2.2). These streets are the primary public right-of-ways serving the development.

**Common Areas:**

Common areas in the proposed FDP include streetscape landscape areas, landscaped tracts, a 0.13-acre pocket park in Filing 1, a 0.64-acre pocket park in Filing 2, and a five-foot concrete trail connection to Little Dry Creek Trail. The streetscape areas, landscape tracts, and pocket parks will be maintained by the Metropolitan District. All private home landscaping will be installed by homeowners or builders and maintained by each homeowner. Adams County shall not be responsible for operation and maintenance of parks and open space within the development. Responsibility and enforcement of landscape maintenance shall be the function of the Metropolitan District. A Design Review Committee will review all private open space design in the development for compatibility. Removal of snow, ice, debris, or other obstructions from sidewalks will be the responsibility of homeowners.

**Lot Characteristics:**

Typical lot sizes within the development range from 2,100 to 6,196 square feet. All front, side and rear setbacks will be consistent with the approved Preliminary Development Plan. Per the proposed Final Development Plan, the front yard setback shall be 10 feet for rear-loaded homes and 18 feet for front-loaded homes, the side setback shall be 5 feet, and the rear yard setbacks shall be two or four feet for rear-loaded homes and 15 feet for front-loaded homes. According to the project narrative and plan, side yard use easements shall be granted along common side lot lines. This allows property owners to install limited improvements such as landscape, fencing, and decks within the side yard easement area. Allowed improvements within the easement shall be non-combustible material and shall comply with international residential building codes. Granting of improvements in the easements and procedures and policies shall be managed by the Metropolitan District.

**Major Subdivision (Final Plat):**

Per Section 2-02-17-04 of the County’s Development Standards and Regulations, the applicant is requesting approval of two filings as major subdivisions (final plats) for the proposed residential development. The current parcel consists of approximately 26 acres; however, the proposed final plat areas are approximately 11.791 acres for Filing 1 and 8.323 acres for Filing 2. The proposed final plats will create 126 residential lots and 22 tracts for private alleys and open space facilities.

Access into the subdivision is primarily from W. 70<sup>th</sup> Avenue, the northern property boundary. Eliot Street, Clay Street, and Canosa Street provide north-south connections to W. 70<sup>th</sup> Avenue. All of the 126 proposed units have access to rear yard garages through alleyways or direct access to local streets from front-loaded garages. This design allows the units to directly front public streets and/or landscaped tracts.

The proposed final plats conform to the criteria for approval outlined in Section 2-02-17-04-05 of the County's Development Standards, which include conformance to the approved preliminary plat and the subdivision design standards. In addition, the applicant has provided a letter of intent from Crestview Water and Sanitation District demonstrating the District's ability to provide services to the development, thus satisfying evidence of adequate water and sanitation facilities. All proposed drainage facilities in the development have been reviewed and approved by the County's Development Services Engineering. Lastly, there is documentation showing there is adequate public infrastructure to support the development, and all plans have been reviewed by the Development Services Engineering. Section of 5-02 of the County's Development Standards and Regulations requires these improvements with all subdivision plats. Such improvements are normally approved and constructed through a Subdivision Improvements Agreement (SIA) that is accompanied by sufficient collateral to secure the improvement. The applicant's bank has requested that the approval of the FDP occur prior to the issuance of collateral for the SIAs. As such, the applicant has requested a continuance on requests #2-5 of this case (the two final plats and the two SIAs), which will allow the applicant to obtain collateral in conjunction with the SIAs prior to the hearings on those requests.

**Subdivision Improvement Agreement:**

Per Section 5-02-05 of the Adams County Development Standards and Regulations, a Subdivision Improvement Agreement (SIA) is required for each filing of the proposed development. The agreement is required to address the manner and timing of the completion of all subdivision improvements and responsibility for payment of the costs of improvements associated with the development.

The SIAs outline the Developer's obligation for required construction and collateral for all public improvements. The SIA is proposed to include two phases for public improvements within the development. Phase One of the improvements consist of curb, gutter, sidewalk, storm sewer, and street paving (initial layer). Phase Two of the improvements consist of final top layer of asphalt on roads and alleys within each filing (see Exhibit 2.5 and 2.6). Staff reviewed the SIA, and except not providing collateral, confirms the proposed agreement is in compliance with the County's Development Standards and Regulations.

**Comprehensive Plan:**

The Future Land Use map designates the subject property as Urban Residential. Per Chapter 5 of the Comprehensive Plan, Urban Residential areas are designated for single and multiple-family housing, typically at urban densities of one dwelling per acre or greater. These areas are intended to provide for development of residential neighborhoods with a variety of housing types, with adequate urban services and transportation facilities. Urban residential areas may include supporting neighborhood commercial uses designed to serve the needs of nearby residents.

The proposed development is consistent with the goals of the Comprehensive Plan to provide higher density housing near existing urban services and transportation facilities. The entire Planned Unit Development is comprised of approximately 26 acres. The PUD site is adjacent to the Westminster RTD light rail station located at 70<sup>th</sup> Avenue and Federal Boulevard, and is located between two major thoroughfares (Federal and Pecos). In addition, Midtown at Clear Creek mixed-use development is located directly east of the site. Because of the proximity to

planned light rail stations and transportation corridors, the PUD inevitably will benefit from location of such transportation amenities.

**Site Characteristic:**

Currently, the subject property is vacant.

**Surrounding Zoning Designations and Existing Use Activity:**

<b>Northwest City of Westminister Vacant</b>	<b>North City of Westminister Single-Family</b>	<b>Northeast City of Westminister Single-Family</b>
<b>West I-1 Commercial</b>	<b>Subject Property PUD Vacant</b>	<b>East PUD Single and Multi-Family</b>
<b>Southwest City of Westminister Railroad</b>	<b>South City of Westminister Railroad</b>	<b>Southeast PUD Single and Multi-Family</b>

**Compatibility with the Surrounding Land Uses:**

A majority of uses surrounding the site consist of single and multi-family residential and commercial uses. The Midtown at Clear Creek mixed-use development is located directly east of the subject site. In addition, the Westminister commuter rail station and future mixed-use development area is directly west of the site, across Federal Blvd. The subject request is consistent with the existing and future residential development surrounding the site and the Future Land Use designation of Urban Residential.

**Referral Comments:**

Xcel Energy, Tri-County Health, Westminister Fire Department, Colorado Geological Survey, and Colorado Division of Parks and Wildlife reviewed this request and expressed no concerns with the development. The City of Westminister reviewed the request and stated their preference for access into the subdivision from Federal Boulevard through an extension of W. 69<sup>th</sup> Avenue. According to the City, this - alignment would facilitate a traffic signal and access to the Westminister commuter rail station on the west side of Federal Blvd. Currently, the Pomponio Terrace development does not include direct access to Federal Blvd. Adams County staff has reviewed the applicant’s street construction plans and finds that their proposed street design conforms to county standards and facilitates appropriate access into and out of the subdivision. In addition, staff notes that the City of Westminister is currently in the process of approving a master plan for the Westminister station area. The draft plan includes multiple access points from Federal Blvd. into the station, including traffic signals at both 69<sup>th</sup> and 70<sup>th</sup> Avenues, and a future street connection into the station from Federal Blvd. at 70<sup>th</sup> Ave. Staff is supportive of the Pomponio Terrace street design, and will continue the ongoing coordination efforts with the City and CDOT on the signal functionality of 69<sup>th</sup> Ave. and 70<sup>th</sup> Ave.

Development Services Engineering reviewed the request and stated final site construction and drainage plans have been approved. However, final building permits shall not be issued until all

public improvements have been constructed, inspected, and preliminarily accepted by Adams County Transportation Department.

**STAFF RECOMMENDATION:**

Staff recommends a continuance of the final plats and associated SIA to November 15, 2016.

**RECOMMENDED FINDINGS OF FACT**

1. The final plat is consistent and conforms to the approved preliminary plat.
2. The final plat is in conformance with the subdivision design standards.
3. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.
4. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that the system complies with state and local laws and regulations.
5. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.
6. The proposed or constructed drainage improvements are adequate and comply with these standards and regulations.
7. Adequate public facilities or infrastructure, or cash-in-lieu, for impacts reasonably related to the proposed subdivision have been constructed or financially guaranteed through cash-in-lieu or a subdivision improvements agreement so the proposed subdivision will not negatively impact the levels of service of the County.

## **Exhibits Table of Contents**

### **Exhibit 1- Maps**

- 1.1 Zoning Map
- 1.2 Aerial Map
- 1.3 Simple Map
- 1.4 Comprehensive Plan

### **Exhibit 2- Applicant Information**

- 2.1 Applicant Written Explanation
- 2.2 Final Development Plan

### **Exhibit 3- Referral Comments**

- 3.1 Referral Comments (Development Services)
- 3.2 Referral Comments (CO Parks and Wildlife)
- 3.3 Referral Comments (Geological Survey)
- 3.4 Referral Comments (Tri-County)
- 3.5 Referral Comments (Westminster Fire)
- 3.6 Referral Comments (City of Westminster)

### **Exhibit 4- Citizen Comments**

None.

### **Exhibit 5- Associated Case Materials**

- 5.1 Request for Comments
- 5.2 Public Hearing Notification
- 5.3 Certificate of Posting
- 5.4 Property Owner Labels
- 5.5 Referral Labels

**LEGAL DESCRIPTION**

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER AND IN THE SOUTHEAST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER OF SECTION 5, BEING A 3.25" ALUMINUM CAP IN MONUMENT BOX STAMPED LS 23053, FROM WHICH POINT THE NORTHEAST CORNER OF SAID NORTHEAST QUARTER OF SECTION 5, BEING A 3.25" ALUMINUM CAP IN MONUMENT BOX STAMPED LS 17668, BEARS NORTH 89°37'42" EAST, A DISTANCE OF 2637.26 FEET □

THENCE SOUTH 00°47'38" WEST ALONG THE WEST LINE OF SAID NORTHEAST QUARTER, A DISTANCE OF 1398.86 FEET (DEEDED AS 1400') □

THENCE SOUTH 89°12'22" EAST ALONG THE SOUTH LINE OF WEST 70TH AVENUE, AS CONVEYED IN DEED RECORDED IN BOOK 536 AT PAGE 311, A DISTANCE OF 286.05 FEET (DEEDED AS 286 FEET) TO THE NORTHWEST CORNER OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN DEED RECORDED UNDER RECEPTION NO. 2006000985302, BEING THE POINT OF BEGINNING □

THENCE CONTINUING ALONG SAID SOUTHERLY LINE OF WEST 70TH AVENUE THE FOLLOWING FIVE (5) COURSES:

1. SOUTH 89°12'22" EAST, A DISTANCE OF 64.00 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667 □
2. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 260.00 FEET AND A CENTRAL ANGLE OF 39°23'37", AN ARC DISTANCE OF 178.76 FEET (CHORD BEARS SOUTH 69°30'34" EAST, 175.26 FEET) TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667 □
3. SOUTH 49°48'45" EAST, A DISTANCE OF 396.77 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667 □
4. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 340.00 FEET AND A CENTRAL ANGLE OF 33°19'31", AN ARC DISTANCE OF 197.76 FEET (CHORD BEARS SOUTH 66°28'31" EAST, 194.98 FEET) TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667 □
5. SOUTH 83°08'16" EAST, A DISTANCE OF 519.78 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667 □

THENCE SOUTH 00°33'25" WEST ALONG THE WEST LINE OF LOT 1, BLOCK 1, SUNDSTRAND SUBDIVISION, RECORDED UNDER RECEPTION NO. A026680, A DISTANCE OF 1299.66 FEET TO A 3.25" ALUMINUM CAP STAMPED CDOT □

THENCE ALONG THE NORTHERLY LINE OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN DEED RECORDED IN BOOK 5158 AT PAGE 820 THE FOLLOWING FOUR (4) COURSES:

1. NORTH 57°33'55" WEST, A DISTANCE OF 382.30 FEET TO A 3.25" ALUMINUM CAP STAMPED CDOT □
2. NORTH 42°16'49" WEST, A DISTANCE OF 182.93 FEET TO A 3.25" ALUMINUM CAP STAMPED CDOT □
3. NORTH 57°33'55" WEST, A DISTANCE OF 130.95 FEET TO A 3.25" ALUMINUM CAP STAMPED CDOT □
4. NORTH 84°23'03" WEST, A DISTANCE OF 196.86 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667 □

THENCE NORTH 57°33'55" WEST ALONG THE NORTHERLY LINE OF THE BURLINGTON NORTHERN AND SANTA FE RAILWAY COMPANY RIGHT-OF-WAY, AS DESCRIBED IN SAID DEED RECORDED IN BOOK 5158 AT PAGE 820, A DISTANCE OF 244.38 FEET □

THENCE ALONG THE EASTERLY AND NORTHERLY LINES OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN WARRANTY DEED RECORDED IN BOOK 1299 PAGE AT 154 THE FOLLOWING FOUR (4) COURSES:

1. NORTH 31°56'08" EAST, A DISTANCE OF 336.17 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667 □
2. NORTH 58°03'52" WEST, A DISTANCE OF 235.00 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667 □
3. NORTH 00°48'38" EAST, A DISTANCE OF 303.09 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667 □
4. NORTH 89°11'22" WEST, A DISTANCE OF 429.19 FEET;

THENCE ALONG THE EAST LINE OF FEDERAL BOULEVARD AND ALONG THE WEST LINE OF SAID PARCEL OF LAND DESCRIBED IN DEED RECORDED UNDER RECEPTION NO. 2006000985302 THE FOLLOWING TWO (2) COURSES:

1. NORTH 02°03'26" WEST, A DISTANCE OF 24.18 FEET TO A PK NAIL WITH WASHER STAMPED PLS 24667 □
2. NORTH 09°19'16" WEST, A DISTANCE OF 72.66 FEET;

THENCE ALONG THE NORTH AND WEST LINES OF SAID PARCEL OF LAND DESCRIBED IN DEED RECORDED UNDER RECEPTION NO. 2006000985302 THE FOLLOWING SIX (6) COURSES:

1. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 70.00 FEET AND A CENTRAL ANGLE OF 37°48'16", AN ARC DISTANCE OF 46.19 FEET (CHORD BEARS SOUTH 60°05'56" EAST, 45.35 FEET);
2. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 155.33 FEET AND A CENTRAL ANGLE OF 11°23'54", AN ARC DISTANCE OF 30.90 FEET (CHORD BEARS SOUTH 35°29'48" EAST, 30.85 FEET);
3. SOUTH 29°47'48" EAST, A DISTANCE OF 16.30 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP WITH ILLEGIBLE MARKINGS □
4. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 23.43 FEET AND A CENTRAL ANGLE OF 59°29'33", AN ARC DISTANCE OF 24.33 FEET (CHORD BEARS SOUTH 59°32'18" EAST, 23.25 FEET) TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667 □
5. SOUTH 89°17'04" EAST, A DISTANCE OF 112.36 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667 □
6. NORTH 00°47'38" EAST, A DISTANCE OF 457.36 FEET TO THE POINT OF BEGINNING, CONTAINING 1,161,661 SQUARE FEET, OR 26.6681 ACRES, MORE OR LESS.

# FINAL DEVELOPMENT PLAN POMPONIO TERRACE FILINGS 1 AND 2 PLANNED UNIT DEVELOPMENT ADAMS COUNTY, COLORADO 80030

**OWNER/APPLICANT**

POMPONIO TERRACE HOLDINGS, LLC  
1140 US HWY 287 □400-125  
BROOMFIELD, COLORADO 80020  
ATTN: JAMES MERLINO  
P: (303) 810-7224

**PLANNER**

PCS GROUP INC.  
□3-B-180 INDEPENDENCE PLAZA  
1001 16TH STREET  
DENVER, CO 80265  
ATTN: JOHN PRESTWICH  
P: (303) 531-4905  
F: (303) 531-4908

**ENGINEERING CONSULTANT**

ENTITLEMENT AND ENGINEERING SOLUTIONS, INC.  
518 17TH STREET, SUITE 1575  
DENVER, COLORADO 80202  
ATTN: JOSHUA ROOT, PE  
P: (303) 572-7997

**CERTIFICATE OF OWNERSHIP**

I, JAMES MERLINO, AS MANAGER OF HUNTERDON LLC, THE MANAGERS OF POMPONIO TERRACE HOLDINGS, BEING THE OWNER OF POMPONIO TERRACE IN THE COUNTY OF ADAMS, STATE OF COLORADO, HEREBY SUBMIT THIS PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN AND AGREE TO PERFORM UNDER THE TERMS NOTED HEREON.

OWNER'S SIGNATURE \_\_\_\_\_

STATE \_\_\_\_\_

COUNTY \_\_\_\_\_

CITY \_\_\_\_\_

THE FOREGOING OWNERSHIP CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

NOTARY PUBLIC: \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

**BOARD OF COUNTY COMMISSIONERS APPROVAL:**

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

BY: \_\_\_\_\_  
CHAIRMAN

**CERTIFICATE OF THE CLERK AND RECORDER**

THIS FINAL DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER IN THE STATE OF COLORADO AT \_\_\_\_\_ M. ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_. FILE NO. \_\_\_\_\_, MAP NO. \_\_\_\_\_, RECEPTION NO. \_\_\_\_\_.

COUNTY CLERK AND RECORDER \_\_\_\_\_

BY: DEPUTY \_\_\_\_\_



**VICINITY MAP**

1"= 2,000'

**SHEET INDEX**

SHEET NO.	DESCRIPTION
F0.0	COVER SHEET
F1.0	WRITTEN NARRATIVE
F2.0	SITE PLAN AND LOT DETAILS
F2.1	PARKING PLAN
L0.0	LANDSCAPE COVER SHEET
L0.1	NOTES & PLANT SCHEDULE
L0.2	RESIDENTIAL LANDSCAPE STANDARDS
L1.0	OVERALL FENCING & LANDSCAPE PLAN
L1.1-L1.9	LANDSCAPE PLAN
L2.0-L2.3	SITE & LANDSCAPE DETAILS
ARCHITECTURAL STANDARDS	
SHEET 1.0 - POMPONIO TERRACE ALLEY LOADED HOMES	
SHEET 1.1 - POMPONIO TERRACE FRONT LOADED HOMES	

**STAFF REVIEW**

APPROVED AS TO FORM BY:

COMMUNITY AND ECONOMIC DEVELOPMENT \_\_\_\_\_

COUNTY ATTORNEY \_\_\_\_\_

**ADDITIONS AND DELETIONS:**

THE FOLLOWING ADDITIONS AND DELETIONS IN THE PUD WERE MADE BY THE BOARD OF COUNTY COMMISSIONERS AT THE TIME OF APPROVAL:

\_\_\_\_\_ FILE NO. \_\_\_\_\_

\_\_\_\_\_ MAP NO. \_\_\_\_\_

\_\_\_\_\_ RECEPTION NO. \_\_\_\_\_

518 17th Street  
Suite 1575  
Denver, CO 80202  
www.ees.us.com  
303-572-7997



FINAL DEVELOPMENT PLAN  
**POMPONIO TERRACE FILINGS 1 & 2**  
ADAMS COUNTY, CO 80030  
COVER SHEET

PROJECT NO: PHT004.01  
DESIGNED BY: JRR  
DRAWN BY: RCY  
DATE: 08/08/2016

**F0.0**



**NARRATIVE**

**A. EXPLANATION OF THE CHARACTERISTICS OF THE PUD**

THE FILINGS ONE AND TWO FINAL DEVELOPMENT PLAN (FDP) AREA AT POMPONIO TERRACE IS COMPRISED OF APPROXIMATELY 19.80 ACRES, CONSISTING OF 126 SINGLE FAMILY RESIDENTIAL HOMES, LANDSCAPED OPEN SPACE AREAS AND PROPOSED STREET RIGHTS-OF-WAY. FILINGS ONE AND TWO ARE LOCATED ON THE EAST SIDE OF FEDERAL BOULEVARD, SOUTH OF 70TH AVENUE, AND NORTH OF LITTLE DRY CREEK. TWO POINTS OF ACCESS FOR BOTH FILINGS WILL BE PROVIDED ON 70TH AVENUE.

**B. POTENTIAL IMPACT ON THE SURROUNDING AREA**

THIS FILING ONE & TWO FDP IS CONSISTENT WITH THE ADAMS COUNTY 2012 UPDATE TO THE COMPREHENSIVE PLAN. INCORPORATED INTO THE OVERALL COMMUNITY VISION IS A VARIETY OF RESIDENTIAL HOME TYPES AND A SYSTEM OF OPEN SPACE, PARKS AND TRAILS THAT WILL CONNECT TO LITTLE DRY CREEK AND THE FUTURE PARK BEING BUILT IN THE ADJACENT PROPERTY TO THE EAST. WESTMINSTER STATION TO THE WEST IS CURRENTLY BEING BUILT AS PART OF THE TRANSIT STATION ON THE WEST SIDE OF FEDERAL - BEING IMPLEMENTED BY RTD. ADAMS COUNTY HAS COMMISSIONED A STUDY OF FEDERAL BOULEVARD AND THIS PROJECT IS ONE OF THE FIRST TO IMPLEMENT THAT VISION.

EXISTING RESIDENTIAL NEIGHBORS TO THE NORTHEAST WILL VIEW SINGLE FAMILY RESIDENCES WITH A PORTION FRONTING 70TH AVENUE AND A PORTION OF GARDEN COURTS THAT WILL HIGHLIGHT THE VAST AMOUNT OF OPEN SPACE AND PROVIDE A SIDE ELEVATION OF HOMES. THIS WILL PROVIDE DIVERSITY ALONG 70TH AVENUE AND THE NEIGHBORS TO THE NORTH.

**C. CONTEMPLATED DENSITIES AND LAND COVERAGE**

THIS FDP CONSISTS OF 126 LOTS WHICH PROVIDE A DENSITY OF 6.36 DWELLING UNITS PER ACRE. THE PROJECT IS PROPOSING 30% OF THE LAND TO BE DEDICATED AS OPEN SPACE AND WILL PROVIDE A TRAIL CONNECTION BOTH TO THE SOUTHERN LITTLE DRY CREEK OPEN SPACE AND THE REGIONAL PARK THAT IS BEING BUILT IN THE ADJACENT PROPERTY TO THE EAST. THIS PROPOSED DENSITY AND LAND COVERAGE IS CONSISTENT WITH THE APPROVED PRELIMINARY DEVELOPMENT PLAN FOR POMPONIO TERRACE.

**D. NUMBER, TYPE, AND SIZE OF BUILDINGS OR UNITS**

126 SINGLE FAMILY RESIDENTIAL LOTS ARE PROPOSED IN THE FILINGS ONE AND TWO FDP. THERE ARE TWO HOME TYPES PROPOSED IN THE FILINGS ONE AND TWO FDP AREA AS STATED BELOW. VARYING HOME TYPES AND LOT SIZES PROVIDE A RANGE OF AFFORDABILITY AND LIFESTYLES. REFER TO SHEET F2.0 FOR TYPICAL LOTS. THE HOMES IN THIS FDP ARE SIMILAR TO THE HOME TYPES FULLY DESCRIBED IN THE PRELIMINARY DEVELOPMENT PLAN. THE FOLLOWING ARE THE HOME TYPES PROPOSED IN THE FILINGS ONE AND TWO FDP.

SINGLE FAMILY DETACHED HOMES/REAR-LOADED

CONSISTS OF HOMES DESIGNED FOR RESIDENTS WHO WANT A LOWER AMOUNT OF OUTDOOR SPACE TO MAINTAIN AND ARE ON LOTS WITH DETACHED, REAR ALLEY-LOADED GARAGES. SIZES OF RESIDENCES VARY IN WIDTH AND DEPTH. REFER TO SHEET 1.0 OF THE ARCHITECTURAL STANDARDS.

SINGLE FAMILY DETACHED HOMES/FRONT-LOADED HOMES

CONSISTS OF HOMES DESIGNED FOR MOVE-UP BUYERS AND GROWING FAMILIES DESIRING A COMPARATIVELY LARGER HOME AND PRIVATE YARD SPACE. SIZES OF RESIDENCES WILL VARY. REFER TO SHEET 1.1 OF THE ARCHITECTURAL STANDARDS.

**E. PROVISIONS FOR PARKING**

PARKING IS PROVIDED IN FILINGS ONE AND TWO WITH EACH RESIDENCE HAVING A MINIMUM OF A 2-CAR GARAGE. ON-STREET PARKING IS PERMITTED ON ALL LOCAL STREETS IN THE FILINGS ONE AND TWO AREA. THE INTERNAL LOCAL STREET SYSTEM IS DESIGNED TO WORK IN CONCERT WITH THE PRIVATE ALLEYS. ALLEYS WILL BE USED TO ACCESS GARAGES FOR OVER HALF OF THE HOMES IN THE COMMUNITY. 24-FOOT WIDE ALLEYS ARE FOR PASSENGER VEHICLE AND GARBAGE TRUCK ACCESS ONLY, AND ALLOWS FOR ALLEY-ACCESSED GARAGES. NO PARKING WILL BE ALLOWED OUTSIDE THE GARAGES OF THE REAR LOADED HOMES OUTSIDE OR WITHIN THE ALLEY RIGHT OF WAY. ALL FRONT LOADED LOTS WILL INCLUDE AN 19.5 DRIVEWAY TO ACCOMMODATE FOR TWO ADDITIONAL OFF-STREET PARKING SPACES. ALL HOMES HAVE ACCESS TO ON-STREET PARKING ALONG THE LOCAL STREETS.

**F. CIRCULATION AND ROAD PATTERNS**

TO HELP ENSURE A PEDESTRIAN-FRIENDLY ENVIRONMENT, THE PLANNED CIRCULATION PATTERNS ALLOW FOR DISTRIBUTION OF INTERNAL TRAFFIC THROUGH THE DEVELOPMENT. THE VEHICULAR ROAD PATTERN FOR POMPONIO TERRACE WILL INTEGRATE THE EXISTING AND PROPOSED ROADWAY SYSTEMS. THE FILING ONE PDP AREA WILL INCLUDE ACCESS TO FEDERAL BOULEVARD VIA EXISTING 70TH AVENUE WITH TWO NEW CONNECTIONS FROM POMPONIO TERRACE TO 70TH AVENUE. ALL STREETS MEET THE ADAMS COUNTY ROADWAY STANDARDS.

**G. OWNERSHIP AND MAINTENANCE OF COMMON AREAS**

THE POMPONIO TERRACE METROPOLITAN DISTRICT (PTMD) IS RESPONSIBLE FOR THE ENFORCEMENT OF LANDSCAPE MAINTENANCE REQUIREMENTS. THE COUNTY SHALL BE RESPONSIBLE FOR MAINTAINING ALL LOCAL STREETS WITHIN THE LIMITS OF THE STREET RIGHT-OF WAY. THE HOMEOWNER WILL BE RESPONSIBLE FOR REMOVAL OF SNOW, ICE, SLEET DEBRIS OR OTHER OBSTRUCTIONS FROM THE SIDEWALK.

**H. TYPE, LOCATION, EXAMPLES OF COPY AND CONSTRUCTION SIGNS**

PLEASE REFER TO SHEET L2.2 FOR THE SIGNAGE STANDARDS. MAINTENANCE OF MONUMENT SIGNS WILL BE THE RESPONSIBILITY OF THE PTMD.

**I. TYPE AND ALLOCATION OF ALL USES INCLUDING PERMITTED USES, USES PERMITTED AFTER AMENDMENT TO THE PUD AND PROHIBITED USES**

THE DESIGN INTENT FOR POMPONIO TERRACE IS TO CREATE A SINGLE FAMILY DETACHED INFILL COMMUNITY THAT INCLUDES A VARIETY OF HOME TYPES. THE FILINGS ONE AND TWO FDP AREA IS ANTICIPATED TO PROVIDE TWO TYPES OF SINGLE FAMILY DETACHED HOMES. IN KEEPING WITH THE TRADITIONAL

NEIGHBORHOOD DEVELOPMENT CONCEPT, BOTH FILINGS HAVE A GRID FORM AND INCLUDE REAR-LOADED AND FRONT-LOADED PRODUCT TYPES. FILINGS ONE AND TWO ALSO INCLUDE SEVERAL OPEN SPACE TRACTS.

**J. LOCATION AND TYPES OF LANDSCAPING AND MAINTENANCE PROVISIONS**

THE POMPONIO TERRACE PUD INCLUDES A VARIETY OF PARKS AND OPEN SPACES STRATEGICALLY LOCATED THROUGHOUT THE COMMUNITY. FILINGS ONE AND TWO INCLUDE STREETScape, LANDSCAPE AREAS AND LANDSCAPE TRACTS. TREE LAWNS ALONG 70TH AVENUE AND GREEN COURTS FRONTING LARGE PARK/OPEN SPACE AREAS AT THE SOUTH ARE TO BE MAINTAINED BY THE PTMD.

**K. DESCRIPTION OF BUILDING ENVELOPES INCLUDING SQUARE FOOTAGE AND/OR NUMBER OF UNITS. MINIMUM SETBACKS, HEIGHT, GENERAL EXTERNAL CHARACTERISTICS**

THERE ARE 126 SINGLE-FAMILY RESIDENTIAL LOTS INCLUDED IN THIS FDP. SETBACKS ARE BASED ON THOSE INCLUDED IN THE FDP EXHIBIT. ALL SETBACKS SHALL BE CONSISTENT WITH THOSE DEPICTED WITHIN THE DEVELOPMENT STANDARDS OF THE FINAL DEVELOPMENT PLAN.

ARCHITECTURAL DESIGN ALLOWS FOR INCORPORATION OF A VARIETY OF ARCHITECTURAL STYLES. ALL RESIDENCES SHALL HAVE A COVERED PORCH OR STOOP OR EQUIVALENT COVERED AREA ON ALL GROUND FLOORS. THE MAXIMUM HEIGHT OF RESIDENTIAL UNITS SHALL BE 32 FEET. ALL COMMUNITY DEVELOPMENT ON THE PROPERTY SHOULD COMPLY WITH THESE STANDARDS WHEN THEY ARE ADOPTED BY THE DESIGN REVIEW COMMITTEE (DRC).

SIDE YARD USE EASEMENTS ARE GRANTED ALONG ALL COMMON SIDE LOT LINES WITHIN ALL DETACHED HOME LOTS. ACCESS AND MAINTENANCE EASEMENTS ARE TYPICAL ALONG ALL COMMON SIDE LOT LINES WITHIN FRONT-LOAD LOTS. REFER TO DEFINITIONS AND FOR TYPICAL EASEMENT LAYOUT AND RESTRICTIONS.

**L. COVENANTS TO BE IMPOSED ON THE PUD**

COVENANTS, CONDITIONS AND RESTRICTIONS (CC&RS) SHALL BE IMPOSED ON THIS PUD, TO BE INFORCED BY THE PTMD.

**M. ADDITIONAL CONTROLS SUCH AS ARCHITECTURAL CONTROL COMMITTEE OF A HOME OWNER'S ASSOCIATION**

THE PTMD WILL ENFORCE DESIGN STANDARDS THROUGH CC&RS. ALL ARCHITECTURAL STYLES OF PROPOSED BUILDINGS SHALL REQUIRE APPROVAL BY THE PTMD DRC AND SHALL BE CONSISTENT WITH THE DESIGN GUIDELINES FOR THIS COMMUNITY FOR OVERALL ARCHITECTURAL INTENT.

**N. UTILIZATION AND LOCATION OF ANY OUTDOOR STORAGE**

ALL PROPOSED MARKETING/TEMPORARY STORAGE OR ANY OTHER ACCESSORY STRUCTURE IS PROHIBITED.

**O. UTILITY SERVICE PROVIDERS**

CRESTVIEW WATER AND SANITATION DISTRICT HAS INDICATED THEY HAVE ADEQUATE CAPABILITY TO SERVE THIS PROPERTY WITH BOTH WATER AND SANITARY SEWER. XCEL ENERGY WILL PROVIDE GAS AND ELECTRIC SERVICES TO THE PROPERTY. APPROPRIATE EASEMENTS FOR ASSOCIATED IMPROVEMENTS AND UTILITY LINES ARE INCLUDED ON THE FILINGS ONE AND TWO AREA FINAL PLAN. SANITARY SEWER MAINS IN ALLEY TRACTS AND UP TO RECEIVING MANHOLES WITHIN THE RIGHT-OF-WAY SHALL BE OWNED AND MAINTAINED BY THE MASTER COMMUNITY ASSOCIATION.

**P. ESTIMATED TIMETABLE FOR DEVELOPMENT**

THE ESTIMATED LENGTH OF TIME FOR BUILD-OUT OF THE FILING ONE AND TWO AREAS OF POMPONIO TERRACE IS TWO (2) YEARS, BEGINNING SUMMER 2016.

**Q. ANY OTHER PERTINENT FACTORS CONCERNING THE DEVELOPMENT**

ADAMS COUNTY FIRE DISTRICT WILL SERVICE POMPONIO TERRACE.

**R. TRACT PURPOSE, OWNERSHIP AND MAINTENANCE RESPONSIBILITY**

IN FILING NO. 1, TRACTS A THROUGH G ARE OPEN SPACE AND WILL BE OWNED AND MAINTAINED BY THE PTMD. TRACTS H THROUGH K ARE ACCESS EASEMENTS TO BE OWNED AND MAINTAINED BY THE PTMD. PET STATIONS WITH THESE TRACTS ARE TO BE OWNED AND MAINTAINED BY PTMD.

IN FILING NO. 2 TRACTS A THROUGH K ARE OPEN SPACE AND WILL BE OWNED AND MAINTAINED BY THE PTMD. TRACTS I AND J ARE ACCESS EASEMENTS TO BE OWNED AND MAINTAINED BY THE PTMD. PET STATIONS WITH THESE TRACTS ARE TO BE OWNED AND MAINTAINED BY PTMD.

**DEFINITIONS**

**ALLEY LOADED GARAGE:** A GARAGE WITH THE VEHICULAR DOOR ACCESS LOCATED ONTO AN ALLEY LOCATED AT THE REAR (OR SOMETIMES SIDE) OF THE LOT.

**FRONT LOADED GARAGE:** A GARAGE WITH THE VEHICULAR DOOR ACCESS LOCATED ONTO STREET RIGHT-OF-WAY LOCATED AT THE FRONT OR SIDE OF THE LOT.

SIDE YARD USE EASEMENTS ARE HEREBY GRANTED ALONG ALL COMMON SIDE LOT LINES WITHIN ALL ALLEY LOADED DETACHED HOME LOTS.

SIDE YARD USE EASEMENTS OCCUR FROM FRONT PROPERTY LINE TO REAR PROPERTY LINE AND EXTEND FROM THE GRANTOR'S BUILDING FOUNDATION TO THE LOT LINE BETWEEN THE GRANTOR'S AND GRANTEE'S PARCELS THAT SHALL BE GRANTED TO THE EASEMENT GRANTEE PER THE RESTRICTIONS OUTLINED BELOW. REFER TO FIGURE 1 FOR A GRAPHIC REPRESENTATION OF THE SIDE YARD USE EASEMENT.

THE FOLLOWING RESTRICTIONS APPLY TO THE SIDE YARD USE EASEMENTS:

A. EASEMENT GRANTEE SHALL HAVE FULL ACCESS AND ENJOYMENT OF THE EASEMENT, USE, AND MAINTENANCE OF THE SPACE INCLUDED IN THE EASEMENT. FENCES AND WALLS USED AS PRIVACY SCREENS MUST BE OUTSIDE FRONT AND REAR SETBACK. IMPROVEMENTS WITHIN THE SIDE YARD USE EASEMENT SHALL NOT EXTEND PAST THE GRANTEE'S OFFICIAL PROPERTY LINE AND IN NO CASE BE ATTACHED TO OR EXTENDED ACROSS THE OFFICIAL PROPERTY LINE. ANY IMPROVEMENT LESS THAN 5' FROM THE PROPERTY LINE SHALL CONFORM TO THE INTERNATIONAL RESIDENTIAL CODES AND BE OF NON COMBUSTIBLE MATERIAL. NO OPEN BURNING OF CAMPFIRES, OR OTHER SOLID FUEL DEVICES WILL BE ALLOWED OR PERMITTED WITHIN 25' OF A STRUCTURE IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE. THE USE OF PROPANE OR NATURAL GAS FIRED APPLIANCES SUCH AS UL LISTED BARBEQUE GRILLS OR FIRE PIT MAY BE PERMITTED PROVIDED THE APPLIANCE IS LOCATED ON THE GRANTEE'S PROPERTY. ONLY LANDSCAPING, HARDSCAPE, AND IRRIGATION IMPROVEMENTS ARE PERMITTED WITHIN FRONT AND REAR SETBACKS. SIDE YARD USE EASEMENT PROCEDURES AND POLICIES SHALL BE MANAGED BY THE PTMD. NO IMPROVEMENTS MAY BE IMPLEMENTED AT THE DETRIMENT OF THE GRANTOR'S ABILITY TO MAINTAIN THEIR HOME.

B. SIDE YARD USE EASEMENTS ARE PERMITTED ON DETACHED SINGLE FAMILY LOTS ONLY.

C. ALL IMPROVEMENTS BY GRANTEE LOCATED WITHIN THE SIDE YARD USE EASEMENT SHALL BE MAINTAINED BY THE EASEMENT GRANTEE.

Q. EASEMENT GRANTOR IS ENSURED OF ACCESS WITHIN THIS EASEMENT FOR MAINTENANCE AND REPAIR OF THE PRINCIPAL STRUCTURE LOCATED ON THE EASEMENT GRANTOR'S LOT AND FOR NO OTHER PURPOSE. THE PTMD DRC APPROVES ALL PLOT PLANS BEFORE AUTHORIZING APPLICATION TO ADAMS COUNTY FOR ISSUANCE OF BUILDING PERMIT. FOR ISSUE RESOLUTION THE PTMD IS GRANTED ACCESS INTO THIS EASEMENT.

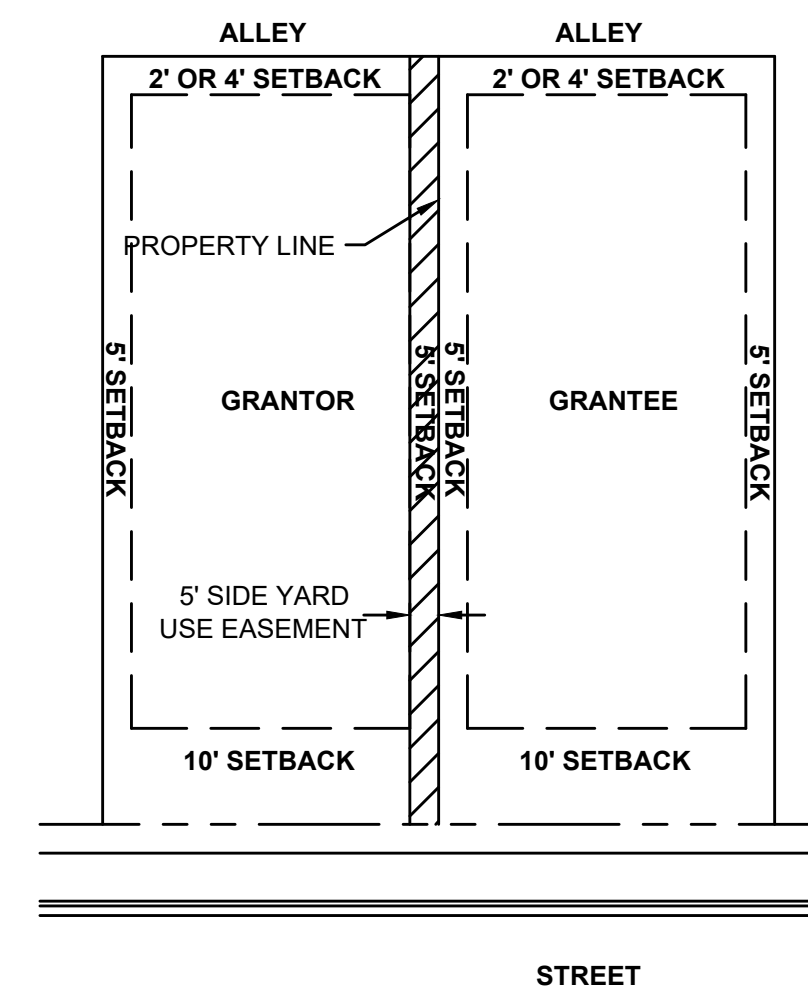
E. ALL PRINCIPAL STRUCTURES, INCLUDING GARAGES, OWNED BY EASEMENT GRANTOR SHALL BE MAINTAINED BY EASEMENT GRANTEE.

F. GRANTEE SHALL NOT ALTER FINISHED GRADE AND/OR DRAINAGE PATTERNS ON THE GRANTOR'S PROPERTY WITHOUT THE WRITTEN APPROVAL OF THE PTMD DRC.

**DEFINITIONS**

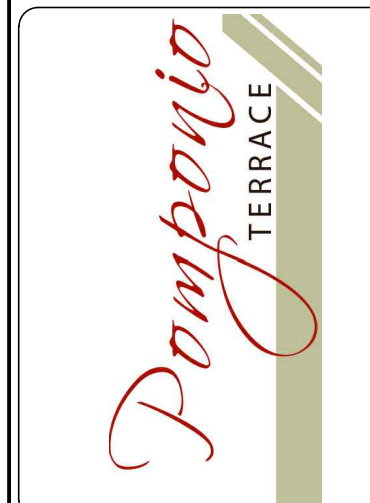
**EASEMENT GRANTOR:** THE LOT OWNER GRANTING SIDE YARD AREA TO ADJACENT LOT OWNER FOR USE.

**EASEMENT GRANTEE:** THE LOT OWNER GAINING SIDE YARD AREA FROM ADJACENT LOT OWNER FOR USE.



**FIGURE 1**  
**SIDE YARD USE EASEMENT**  
NOT TO SCALE

RECEPTION NO. \_\_\_\_\_



FINAL DEVELOPMENT PLAN  
**POMPONIO TERRACE FILINGS 1 & 2**  
ADAMS COUNTY, CO 80030  
WRITTEN NARRATIVE

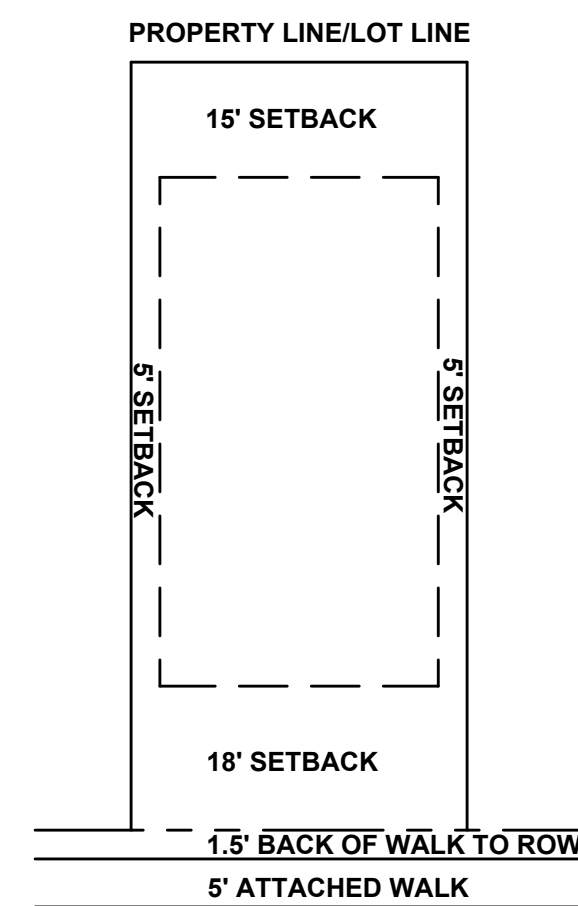
PROJECT NO: PHT004.01  
DESIGNED BY: JRR  
DRAWN BY: RCY  
DATE: 08/08/2016

**F1.0**

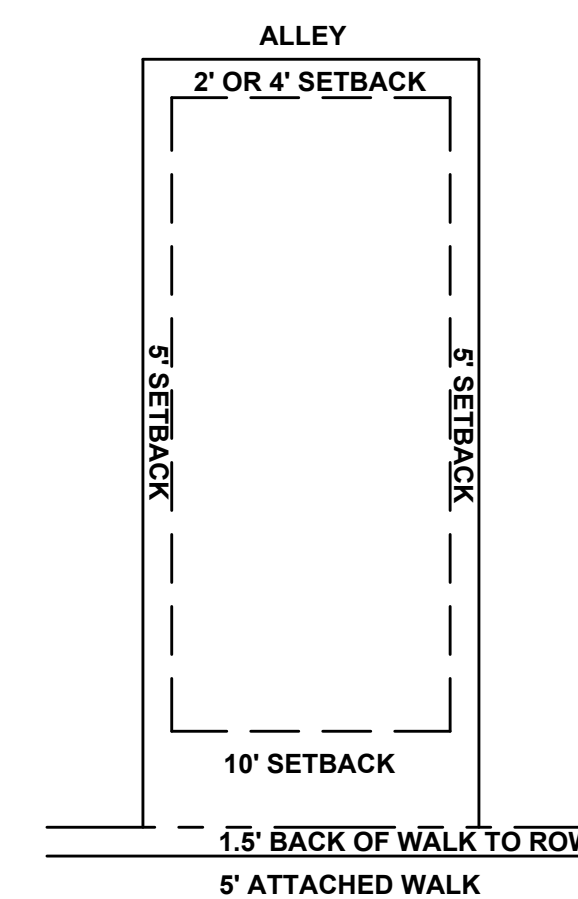
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303-572-7997



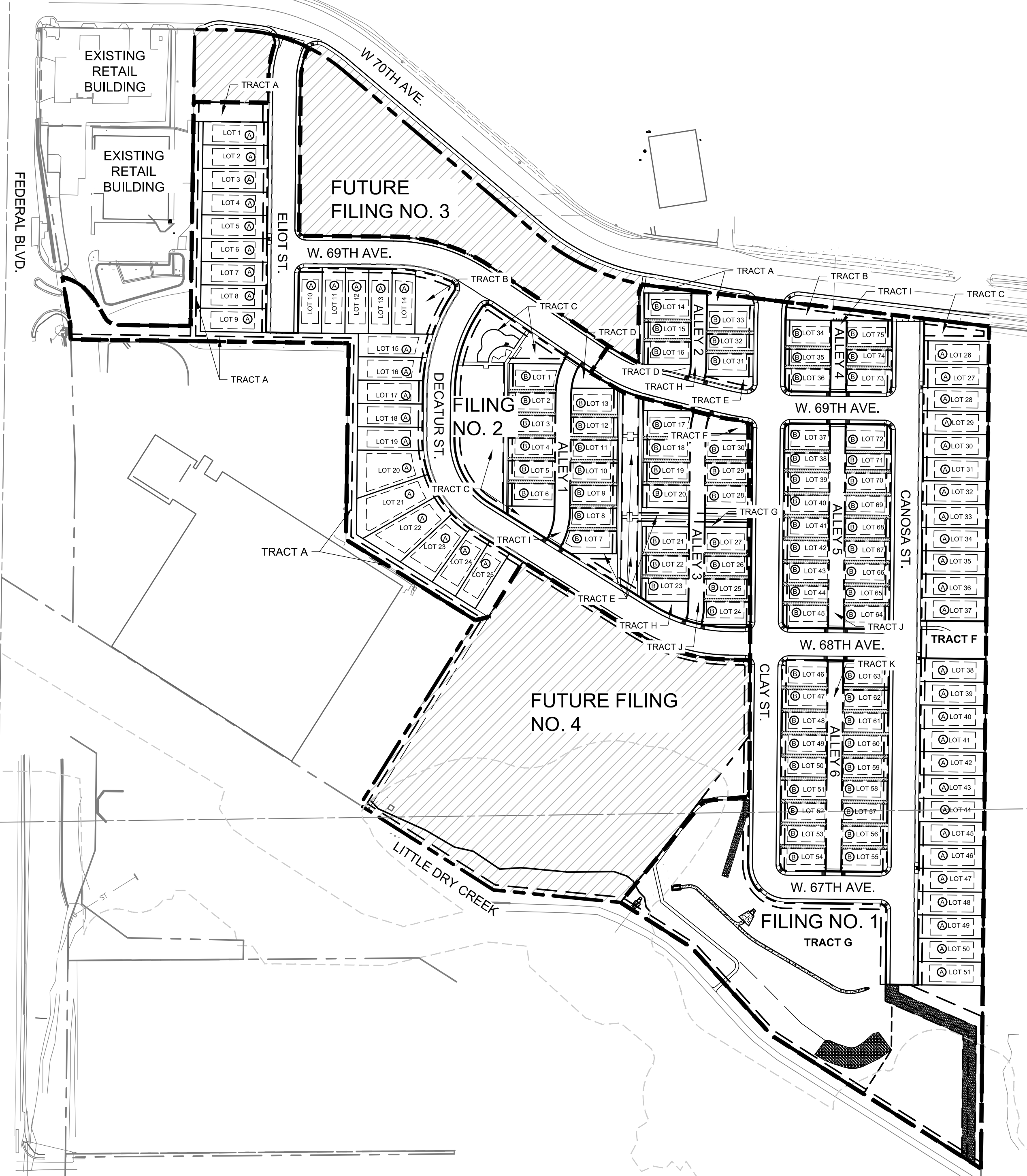
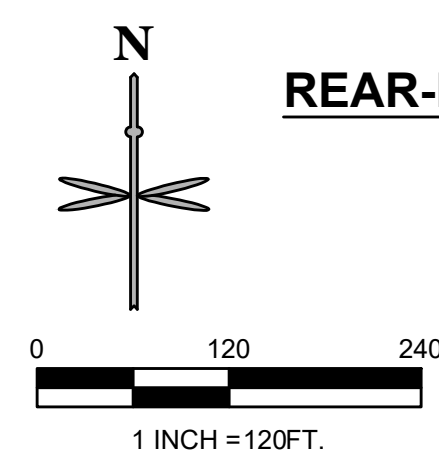
LOT TYPE	QUANTITY
(A) SINGLE FAMILY DETACHED FRONT-LOADED LOT	51
(B) SINGLE FAMILY DETACHED REAR-LOADED LOT	75
TOTAL	126



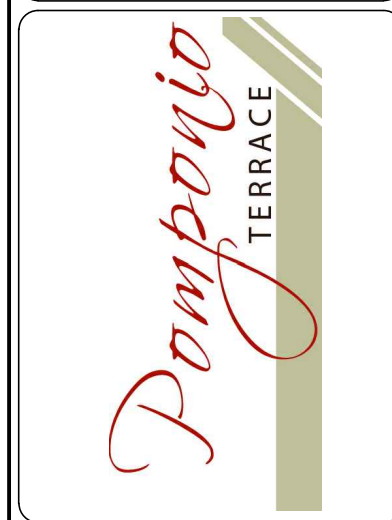
**TYPE A**  
**FRONT-LOADED LOT SETBACKS**  
NOT TO SCALE



**TYPE B**  
**REAR-LOADED LOT SETBACKS**  
NOT TO SCALE



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Suite 1575  
Denver, CO 80202  
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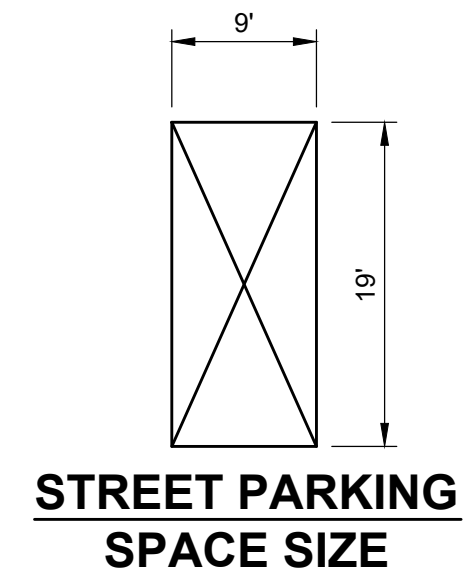


FINAL DEVELOPMENT PLAN  
**POMPONIO TERRACE FILINGS 1 & 2**  
ADAMS COUNTY, CO 80030  
SITE PLAN AND LOT DETAILS

PROJECT NO: PHT004.01  
DESIGNED BY: JRR  
DRAWN BY: RCY  
DATE: 08/08/2016  
**F2.0**

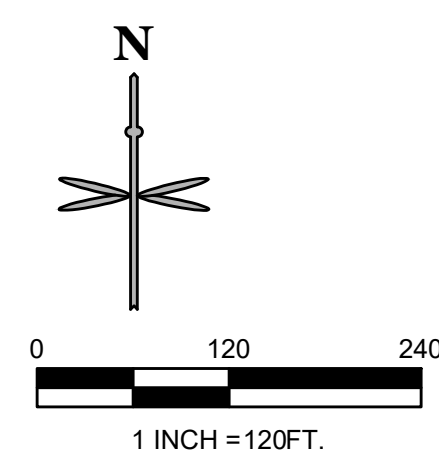
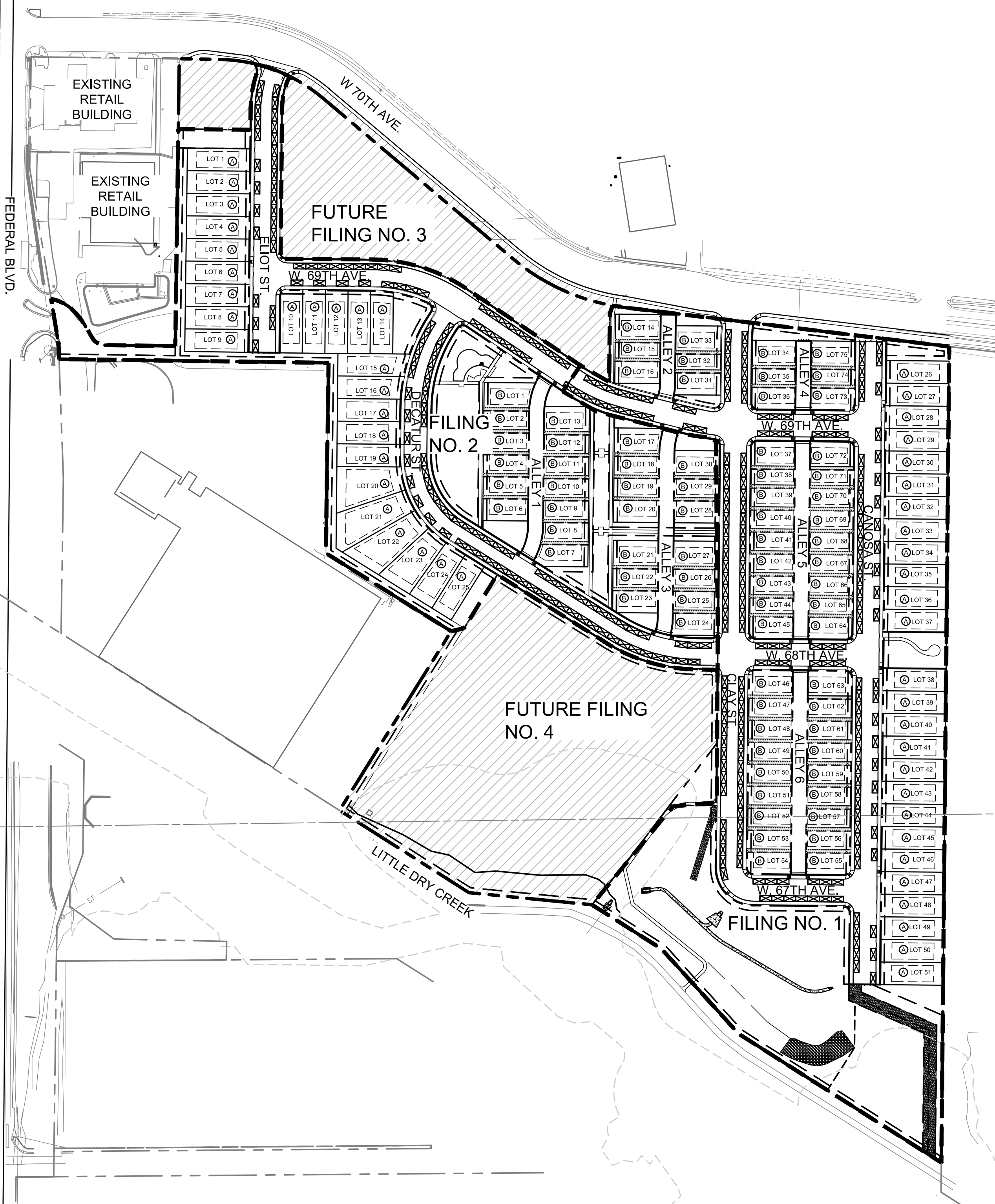
FILE NO. \_\_\_\_\_  
MAP NO. \_\_\_\_\_  
RECEPTION NO. \_\_\_\_\_





- TOTAL ON-STREET PARKING SPACES = 324
- LOT A PARKING (4 OFF-STREET SPACES):
  - 2 GARAGE SPACES
  - 2 DRIVEWAY SPACES (SEE NOTE 1)
- LOT B PARKING (3 OFF-STREET SPACES):
  - 2 GARAGE SPACES (SEE NOTE 2)
- TOTAL PARKING SPACES: 688
- AVERAGE PARKING SPACES PER LOT (126 LOTS): 5.5

- NOTES:**
1. 18-FT SETBACK FOR FRONT LOADED "A" LOTS WILL ACCOMMODATE FOR A 19.5-FT DRIVEWAY (ROW IS 1.5-FT BEHIND THE BACK OF WALK), WHICH IS GREATER THAN THE COUNTY'S TYPICAL PARKING SPACE DEPTH OF 19'.
  2. NO PARKING WILL BE ALLOWED IN THE ALLEYS OR IN THE REAR SETBACKS FOR THE REAR LOADED "B" LOTS.



FILE NO. \_\_\_\_\_  
MAP NO. \_\_\_\_\_  
RECEPTION NO. \_\_\_\_\_

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8/5/2016 2:09 PM P:\INTL HOLDINGS\POMPONIO TERRACE\ON SITE\08 CAD\FDP\00.0 COVER SHEET.DWG



# GENERAL NOTES

- DRAWINGS ARE INTENDED TO BE PRINTED ON 18 X 24 PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
- THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
- IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, PCS GROUP, INC. RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
- CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
- CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES AND REGULATORY AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
- UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
- ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT

# SYMBOLS & ABBREVIATIONS

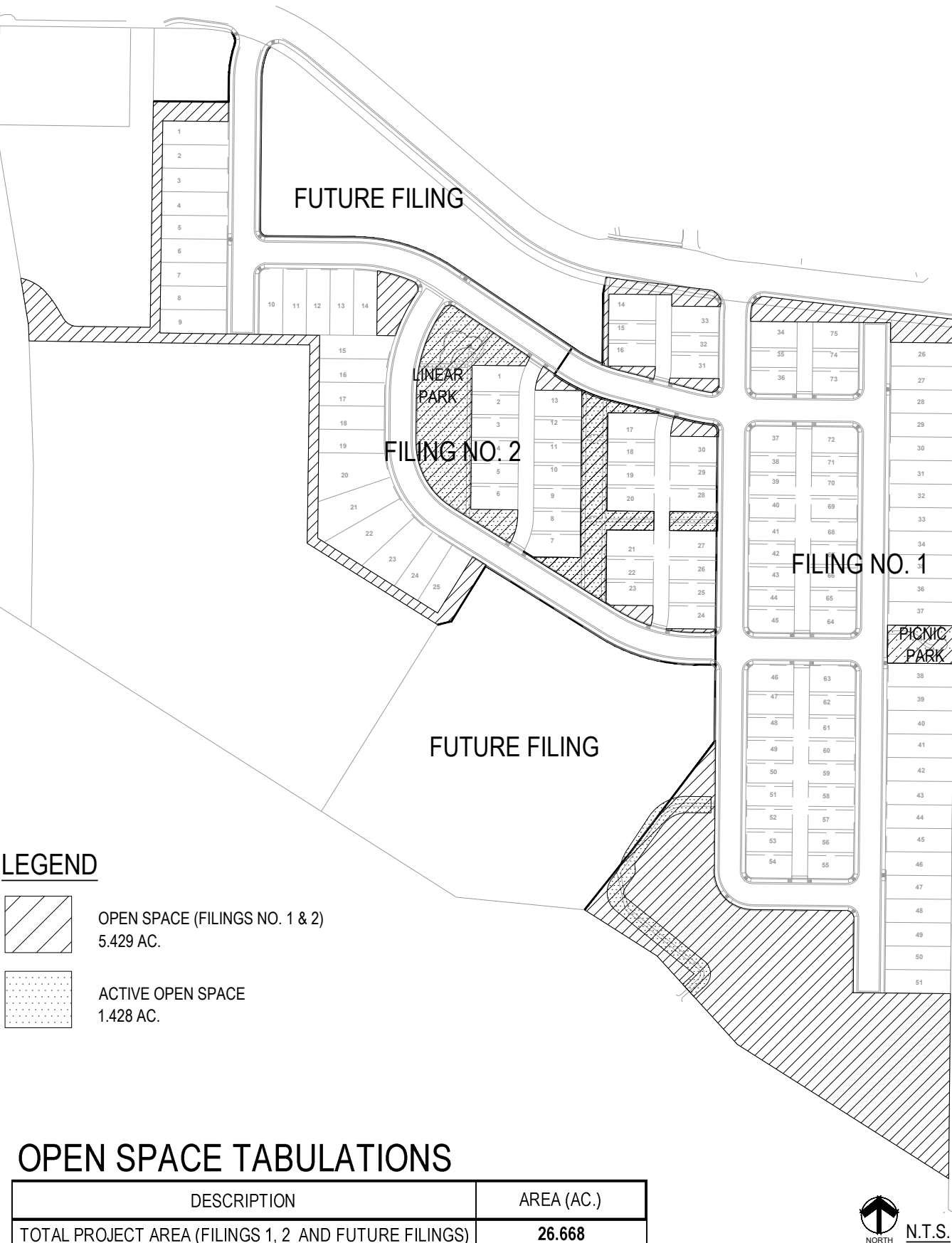
AC. = ACRE	H.P. = HIGH POINT
APPROXIMATE = APPROX.	HT. = HEIGHT
B&B = BALL AND BURLAP	HORIZ. = HORIZON
BOC = BACK OF CURB	I.D. = INNER DIAMETER
B.M. = BENCH MARK	IN. = INCH
BLDG. = BUILDING	INV. = INVERT
B.S. = BOTTOM OF STAIR	L.P. = LOW POINT
B.W. = BOTTOM OF WALL	L.F. = LINEAR FEET
CAL. = CALIPER	MAX. = MAXIMUM
C.B. = CATCH BASIN	M.H. = MAN HOLE
CL CATCH BASIN CENTER LINE	MIN. = MINIMUM
C.O. = CLEANOUT	MISC. = MISCELLANEOUS
COL. = COLUMN	N.I.C. = NOT IN CONTRACT
CONC. = CONCRETE	N.T.S. = NOT TO SCALE
CONT. = CONTINUOUS	O.C. = ON CENTER
CONTR = CONTRACTOR	O.D. = OUTSIDE DIAMETER
C.F. = CUBIC FEET	P.O.B. = POINT OF BEGINNING
C.Y. = CUBIC YARD	P.O.C. = POINT OF CONNECTION
DET. = DETAIL	P.V.C. = POLYVINYL CHLORIDE PIPE
DIM. = DIMENSION	PL. = PROPERTY LINE
DIA. = DIAMETER	R = RADIUS
DWG. = DRAWING	R.C.P. = REINFORCED CONCRETE PIPE
EA. = EACH	R.O.W. = RIGHT OF WAY
ELEV. = ELEVATION	REQ'D. = REQUIRED
EXIST. = EXISTING	REINF. = REINFORCED
E.P. = EDGE OF PAVING	SHT. = SHEET
EXP. = EXPANSION	SPEC. = SPECIFICATIONS
E.W. = EACH WAY	SQ. = SQUARE
F.F. = FINISH FLOOR	S.F. = SQUARE FEET
F.G. = FINISH GRADE	S.Y. = SQUARE YARD
FIN. = FINISH	S.S. = STAINLESS STEEL
F.H. = FIRE HYDRANT	T.C. = TOP OF CURB
FL = FLOW LINE	T.S. = TOP OF STAIR
FTG. = FOOTING	T.W. = TOP OF WALL
FT. = FEET	TYP. = TYPICAL
GA. = GAUGE	VERT. = VERTICAL
GALV. = GALVANIZED	W/O = WITH OUT
H.W. = HEAD WALL	W.W.M. = WOVEN WIRE MESH

NOTE IDENTIFICATION	
	DEMOLITION NOTE
	CONSTRUCTION NOTE
ELEVATION IDENTIFICATION	
	SPOT ELEVATION
	ELEVATION
DETAIL IDENTIFICATION	
	DETAIL NUMBER
	DETAIL NAME
	SHEET NUMBER
DETAIL SECTION IDENTIFICATION	
	DETAIL NUMBER
	SHEET NUMBER

- MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
- COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEAN OUT AREAS WITH OWNER'S REPRESENTATIVE.
  - CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCKPILES CONCRETE IN THE STORM SEWER IS PROHIBITED.
  - THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
  - MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
  - THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
  - THE CONTRACTOR AND OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
  - THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
  - OPEN SPACE SWALES: IF SWALES ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE CONVEYANCE OF WATER WITHIN THE SWALES DURING THE CONTRACT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIVERSION OR PUMPING OF WATER IF REQUIRED TO COMPLETE WORK. ANY SWALES DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE SWALE NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
  - DETENTION AND WATER QUALITY PONDS: IF DETENTION PONDS AND WATER QUALITY PONDS ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE PONDS, DRAINAGE STRUCTURES AND SPILLWAYS DURING CONSTRUCTION. ALL PONDS DRAINAGE STRUCTURES AND SPILLWAYS SHALL BE MAINTAINED IN OPERABLE CONDITIONS AT ALL TIMES. ANY POND OR SPILLWAY AREAS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE POND NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
  - MAINTENANCE ACCESS BENCHES: IF MAINTENANCE BENCHES OR ACCESS ROADS EXIST ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE BENCHES OR ACCESS ROADS DURING CONSTRUCTION. ANY BENCHES OR ACCESS ROADS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING BENCHES AND ACCESS ROADS DURING THE CONSTRUCTION PERIOD. IF ACCESS NEEDS TO BE BLOCKED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INTERRUPTION OF ACCESS.
  - LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.
  - SPECIFICATIONS ARE SHOWN TO INDICATE THE DESIGN INTENT. SUBSTITUTES FOR ALL MATERIALS AND FINISHES MAY BE CONSIDERED IF THEY MATCH THE APPEARANCE, QUALITY, AND GENERAL SPECIFICATIONS AS PRODUCTS SHOWN ON THIS SHEET AND SUBSEQUENT DETAILS. ALL MATERIALS AND FINISHES WILL REQUIRE A SAMPLE (OR DATA SHEET) TO BE SUBMITTED FOR FINAL REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE, PRIOR TO INSTALLATION.

Sheet Number	Sheet Title
L0.0	LANDSCAPE COVER SHEET
L0.1	NOTES & PLANT SCHEDULE
L0.2	RESIDENTIAL LANDSCAPE STANDARDS
L1.0	OVERALL FENCING & LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE PLAN
L1.3	LANDSCAPE PLAN
L1.4	LANDSCAPE PLAN
L1.5	LANDSCAPE PLAN
L1.6	LANDSCAPE PLAN
L1.7	LANDSCAPE PLAN
L1.8	LANDSCAPE PLAN
L1.9	LANDSCAPE PLAN
L2.0	SITE & LANDSCAPE DETAILS
L2.1	SITE & LANDSCAPE DETAILS
L2.2	SITE & LANDSCAPE DETAILS
L2.3	SITE & LANDSCAPE DETAILS

# OPEN SPACE DIAGRAM



# OPEN SPACE TABULATIONS

DESCRIPTION	AREA (AC.)
TOTAL PROJECT AREA (FILINGS 1, 2 AND FUTURE FILINGS)	26.668
TOTAL PROJECT OPEN SPACE REQUIRED (30%)	8.000
TOTAL PROJECT ACTIVE OPEN SPACE REQUIRED (25% OF TOTAL PROJECT OPEN SPACE)	2.000

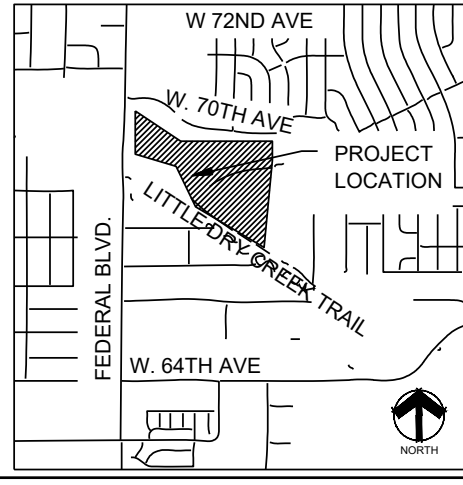
DESCRIPTION	FILINGS 1 & 2 AREA (AC.)	FILINGS 1 & 2 OPEN SPACE (AC.)	*% OF TOTAL PROJECT AREA
FILING NO. 1	11.79	3.472	20%
FILING NO. 2	8.32	1.957	
<b>TOTALS</b>	<b>20.11</b>	<b>5.429</b>	

\*NOTE: A MINIMUM OF 2.571 ACRES (10%) OPEN SPACE SHALL BE PROVIDED IN FUTURE FILINGS TO ACHIEVE THE 30% (8.0 AC.) REQUIRED OPEN SPACE WITHIN THE TOTAL PROJECT AREA.

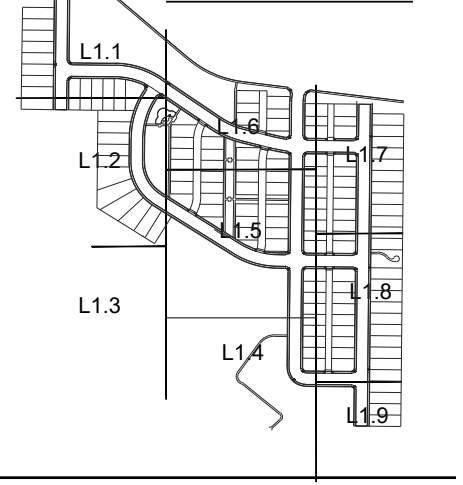
FILINGS 1 & 2 ACTIVE OPEN SPACE PROVIDED (AC.)	*% OF TOTAL PROJECT OPEN SPACE
1.428	17.85% (25% REQ'D.)

\*NOTE: A MINIMUM OF 0.572 ACRES (7.15%) ACTIVE OPEN SPACE SHALL BE PROVIDED IN FUTURE FILINGS TO ACHIEVE THE 25% (2.0 AC.) ACTIVE OPEN SPACE REQUIRED AS PART OF THE TOTAL PROJECT OPEN SPACE AREA.

# VICINITY MAP



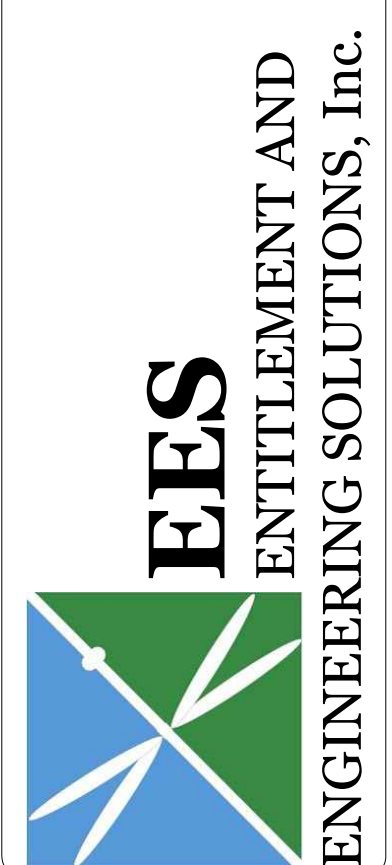
# SHEET KEY



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9/22/2016 9:22 AM Y:\POMPONIO\PLANNING\CURRENT DWGS\FDP\_LDSCP PLANS.DWG

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Suite 1575  
Denver, CO 80202  
www.ees.us.com  
303-572-7997



FINAL DEVELOPMENT PLAN  
**POMPONIO TERRACE FILINGS 1 & 2**  
ADAMS COUNTY, CO 80030  
**LANDSCAPE COVER SHEET**

PROJECT NO: PHT004.01  
DESIGNED BY: PCS GROUP  
DRAWN BY: JI  
DATE: 08/11/16

**L0.0**

# CONTACTS:

**OWNER:**  
POMPONIO TERRACE HOLDINGS, LLC  
1140 US HWY 287 □400-125 BROOMFIELD, COLORADO 80020  
ATTN: JAMES MERLINO

**PLANNER / LANDSCAPE ARCHITECT:**  
  
pcs group inc. www.pcsgroupco.com  
#3, B-180 independence plaza  
1007 16th street, denver co 80265  
f 303.531.4905, f 303.531.4908

**CIVIL ENGINEER:**  
  
EES ENTITLEMENT AND ENGINEERING SOLUTIONS, Inc.  
518 17th Street Suite 1575  
Denver, CO 80202  
www.ees.us.com 303-572-7997



**LANDSCAPE NOTES**

- SITE PREP**
- LANDSCAPE CONTRACTOR TO REFERENCE CIVIL ENGINEERING DRAWINGS REGARDING DRAINAGE AND EROSION CONTROL NOTES, DETAILS AND PROCEDURES.
  - ALL WORK SHALL CONFORM TO LOCAL CITY AND COUNTY CODES. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE LANDSCAPE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
  - ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR USE OF MAINTENANCE EQUIPMENT ENTRY.
  - SEE CIVIL ENGINEER'S DRAWINGS FOR GRADING AND DRAINAGE, EROSION CONTROL, PAVING AND SLEEVES, UTILITIES, AND OTHER ENGINEERED DETAILS.
  - CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
  - A PRE-CONSTRUCTION MEETING MAY BE REQUIRED BETWEEN THE LANDSCAPE CONTRACTOR, PROPERTY OWNER AND LANDSCAPE ARCHITECT BEFORE START OF CONSTRUCTION.
  - CONTRACTOR SHALL MINIMIZE ALL DISTURBANCE TO NON-IMPACTED AREAS.
  - SITE MUST BE CLEAN AND FREE OF ALL CONSTRUCTION DEBRIS BEFORE FINAL ACCEPTANCE.
  - CONTRACTOR IS RESPONSIBLE FOR SETUP OF BARRICADES, WARNING SIGNAGE, OR OTHER PROTECTIVE DEVICES IF ANY EXCAVATIONS ARE LEFT EXPOSED AFTER ON-SITE WORK HOURS.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE ALL NECESSARY PERMITS FOR CONSTRUCTION WORK WITHIN THE LOCAL JURISDICTION. A SEPARATE LANDSCAPE CONSTRUCTION PERMIT IS REQUIRED AND USE AND SALES TAX WILL BE COLLECTED. WATER CONNECTION FEES ARE TO BE PAID PRIOR TO THE METER SETTING. A BACK FLOW PERMIT AND INSPECTION IS REQUIRED PRIOR TO THE METER BEING INSTALLED IN THE VAULT.
  - TOPSOIL IS TO BE STRIPPED & STOCKPILED ON-SITE FOR LATER USE.
  - CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING OR NEW SITE IMPROVEMENTS DISTURBED OR DAMAGED DUE TO THEIR OPERATIONS. DAMAGED MATERIALS SHALL BE REPLACED/REPAIRED TO ITS PRIOR CONDITION.
  - LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OR LANDSCAPE PLANTING. CONTRACTOR SHALL HAND DIG ALL PLANTING PITS ADJACENT TO UTILITIES. IF UTILITIES ARE DAMAGED, REPAIRS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.
  - PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED & AMENDED.
  - ALL LANDSCAPE AREAS SHALL RECEIVE SOIL AMENDMENT ROTOTILLED AT A MIN. 8" DEPTH AT A RATE OF 4 CUBIC YARDS PER 1,000 SF.
  - CONTRACTOR SHALL SUBMIT SOIL AMENDMENT SPECIFICATIONS FOR APPROVAL PRIOR TO INSTALLATION.

- TURF, PLANT & GROUND COVER MATERIAL**
- ANY SUBSTITUTION OR ALTERATION OF PLANT OR LANDSCAPE MATERIALS IN LOCATION, SPECIES, TYPE, ETC. SHALL BE ALLOWED ONLY WITH APPROVAL OF THE LANDSCAPE ARCHITECT. OVERALL PLANT QUANTITY AND QUALITY TO BE CONSISTENT WITH APPROVED PLANS.
  - ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE.
  - PROPOSED TREE LOCATIONS SHALL HAVE A MINIMUM SEPARATION OF 4' BETWEEN WATER OR SEWER SERVICE LINES AND A MINIMUM SEPARATION OF 10' BETWEEN WATER OR SEWER MAIN LINES. PROPOSED TREE LOCATIONS SHALL HAVE A MINIMUM SEPARATION OF 4' BETWEEN GAS LINES.
  - ALL PROPOSED IRRIGATED TURF AREAS SHALL BE SODDED WITH THE BLEND SPECIFIED IN THESE PLANS. SOD SHALL BE LAID ON A FIRM BED WITH TIGHT JOINTS AND WITHOUT VOIDS.
  - TREE WRAP TO BE APPLIED IN LATE FALL AFTER INSTALLATION, AND REMOVED THE FOLLOWING SPRING. REMOVE ANY STRING OR WIRE AROUND TREE TRUNKS AT TIME OF INSTALLATION.
  - CONTRACTOR SHALL REPORT ANY DISCREPANCY FOUND IN THE FIELD VERSUS THE LANDSCAPE DRAWINGS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, OWNER'S REPRESENTATIVE, AND/OR THE CITY/COUNTY PRIOR TO ANY CONSTRUCTION OR DEMOLITION ACTIVITY. FAILURE TO MAKE SUCH CONFLICTS KNOWN WILL RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE AND REPAIR.
  - MAINTAIN A MINIMUM THREE FOOT CLEARANCE AROUND FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS OR OTHER FIRE SERVICE EQUIPMENT. NO TREES OR SHRUBS WILL BE ALLOWED WITHIN THIS AREA.
  - NO PLANT MATERIAL SHALL BE PLANTED WITHIN 10' OF ANY EXISTING OR PROPOSED ELECTRICAL SWITCHGEARS, TRANSFORMERS OR OTHER ELECTRICAL UTILITY EQUIPMENT. PLANT MATERIAL MAY BE FIELD ADJUSTED TO PROVIDE THE 10' CLEAR SPACE AND ACCESSIBILITY REQUIRED BY THE UTILITY'S OWNER/OPERATOR.
  - PROPOSED PLANT SPECIES MAY BE SUBJECT TO CHANGE PENDING COMMERCIAL AVAILABILITY AT TIME OF CONSTRUCTION. ALL SPECIES SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. OVERALL PLANT QUANTITIES & SIZES SHALL REMAIN AS INDICATED ON THE PLANT SCHEDULE. CONTRACTOR SHALL VERIFY THAT ANY SUBSTITUTED PLANT SPECIES ARE ACCEPTABLE TO THE LOCAL MUNICIPALITY OR GOVERNING JURISDICTIONS.
  - IF SPECIFIED PLANTS ARE NOT COMMERCIALY AVAILABLE AT TIME OF CONSTRUCTION/INSTALLATION, CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT FOR A SUBSTITUTION.

- PLANTING BEDS**
- ALL PROPOSED PLANTING BEDS SHALL CONTAIN THE SPECIFIED MULCH AND INCLUDE MIRAFI WEED BARRIER FABRIC OR EQUAL SECURED WITH PINS. OVERLAP FABRIC MIN. 24" AT EDGES.
  - ROCK MULCH AROUND VEGETATION SHALL CONTAIN 1 1/2"-2" DIA. ROUND RIVER COBBLE, TAN COLOR, 4" DEPTH.
  - ROCK MULCH BEDS WITHOUT VEGETATION SHALL BE CONTAIN 3"-4" DIA. ROUND RIVER COBBLE, TAN COLOR, 4" DEPTH, SEATED.
  - WOOD MULCH SHALL BE 'GORILLA HAIR' OR EQUAL SHREDDED CEDAR MULCH, 4" DEPTH.
  - EDGING BETWEEN TURF AND PLANTING BEDS SHALL BE 12-GAUGE, GREEN COLOR, ROLLED-TOP, STEEL EDGING OR EQUIVALENT. ANY NO EDGING IS REQUIRED AGAINST HARDCAPE/WALK AREAS OR AT TREE RING EDGES. EDGING SHALL BE INSTALLED TO AVOID IMPEDING DRAINAGE. RE: DETAILS FOR INSTALLATION IN LOW DRAINAGE AREAS.
  - FOR TREES NOT IN PLANTING BEDS, ALLOW A 6'-0" DIAMETER BED (TREE RING) WITHOUT SOD AROUND ROOT COLLAR. APPLY SPECIFIED WOOD MULCH & DEPTH AROUND COLLAR FOLLOWING SOD INSTALLATION. NO FABRIC OR STEEL EDGER IS NECESSARY WITHIN TREE RINGS IN NATIVE AREAS. TREES IN PLANTING BEDS SHALL NOT HAVE WEED BARRIER INSTALLED WITHIN 6' OF THEIR TRUNKS.

- HARDSCAPE**
- REFER TO SITE PLANS & DETAILS FOR SPECIALTY CONCRETE LOCATIONS WHERE APPLICABLE.
- IRRIGATION**
- 1)PERMANENT UNDERGROUND IRRIGATION IS REQUIRED IN ALL LANDSCAPE AREAS, 2) TURF AREAS ARE ZONED SEPARATELY FROM BED AREAS, 3) CONTROLLER TO INCLUDE RAIN SHUT-OFF, 4) HYDROZONES WILL BE ON SEPARATE IRRIGATION ZONES ACCORDING TO WATER-DEMAND.
  - TURF & IRRIGATED NATIVE AREAS (WHERE APPLICABLE) SHALL BE IRRIGATED BY AUTOMATIC POP-UP SPRAY SYSTEM. SHRUBS & PLANTING BEDS SHALL BE IRRIGATED WITH DRIP/BUBBLER SYSTEM.
  - ALL TREES & SHRUBS OUTSIDE OF BEDS WITHIN NATIVE AREAS SHALL BE DRIP IRRIGATED. ALL IRRIGATION SHALL BE AN AUTOMATIC UNDERGROUND SYSTEM
  - REFER TO IRRIGATION PLANS FOR DETAILED INFORMATION.

- MAINTENANCE**
- CONTRACTOR IS TO MAINTAIN ALL PLANTINGS AND ASSOCIATED IRRIGATION SYSTEM INSTALLED UNDER THIS CONTRACT UNTIL FINAL ACCEPTANCE BY THE CITY AND TURNOVER TO OWNER. THIS MAINTENANCE SHALL INCLUDE PROPER WATERING OF ALL PLANTS, AND MOWING OF TURF/SEED AREAS IF NECESSARY.
  - SITE MUST BE CLEAN AND FREE OF ALL CONSTRUCTION DEBRIS BEFORE FINAL ACCEPTANCE.
  - ALL PLANT MATERIAL WILL BE COVERED BY A WARRANTY PERIOD. THE CONTRACTOR SHALL REPLACE DEAD, UNHEALTHY, OR OTHERWISE UNSATISFACTORY MATERIAL THROUGHOUT THIS PERIOD. THE WARRANTY SHALL BEGIN UPON FINAL ACCEPTANCE OF THE JOB.
  - LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER OR ASSIGNS OR OWNERS ASSOCIATION. TREES AND SHRUBS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL (AS DETERMINED BY THE CITY) SHALL BE REPLACED PER CODE OF NOTIFICATION BY THE CITY. NON-LIVING GROUND COVERS, SUCH AS ROCK OR MULCH, MUST BE 100% INTACT AFTER ONE YEAR AND 100% INTACT THEREAFTER.
  - LANDSCAPE AREAS WITHIN THE PROPERTY AND WITHIN THE ADJACENT RIGHT OF WAY SHALL BE MAINTAINED BY THE PROPERTY OWNER.

**RIGHT OF WAY LANDSCAPE TABULATIONS (FILINGS 1 & 2 ONLY)**

STREET RIGHT OF WAY	RIGHT OF WAY LENGTH (LF.)	*RIGHT OF WAY LANDSCAPE AREA(SF.)	TREES		SHRUBS	
			REQUIRED	PROVIDED	REQUIRED	PROVIDED
W 70TH AVE	555	7,248	7	12	14	24
W 69TH AVE	660	3,300	3	6	7	18
CANSOA ST.	270	1,350	1	3	3	15
CLAY ST	359	1,790	2	3	4	4
W 68TH AVE	434	2,170	2	5	4	22
DECATUR ST	323	1,615	2	7	3	9
W 67TH AVE	320	1,600	2	4	3	7
*ELIOT ST. (ALL RESIDENTIAL FRONT AGE)	30	N/A	N/A	N/A	N/A	N/A
<b>TOTALS</b>	<b>2,950</b>	<b>19,073</b>	<b>19</b>	<b>40</b>	<b>38</b>	<b>99</b>

\*NOTE: ATTACHED WALKS ARE ADJACENT TO ALL SUBDIVISION INTERIOR STREETS LEAVING ONLY 1.5' OF DISTANCE BETWEEN BACK OF WALK AND RIGHT OF WAY. THIS PREVENTS INSTALLATION OF PLANT MATERIALS. THEREFORE, TO MEET THE INTENT OF COUNTY CODE REQUIREMENTS, AN AVERAGE LANDSCAPE AREA EXTENDING 5' BEHIND THE BACK OF RIGHT OF WAY OF INTERIOR STREETS HAS BEEN USED TO CALCULATE RIGHT OF WAY LANDSCAPE PLANT MATERIAL REQUIRED ALONG NON-RESIDENTIAL FRONTAGES. RIGHT OF WAY PLANTINGS HAVE BEEN CLUSTERED WHERE APPROPRIATE.

**PLANT & GROUND COVER SCHEDULE**

DECIDUOUS TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL / SIZE	HT X SPD	IRR_ZONE
HAC	3	CELTIS OCCIDENTALIS / COMMON HACKBERRY	B & B	2" CAL	50' X 30'	LOW
DNM	2	ACER PLATANOIDES 'DEBORAH' / DEBORAH MAPLE	B & B	2" CAL	50' X 40'	LOW
ARM	4	ACER FREEMANI 'ARMSTRONGS' / FREEMAN MAPLE	B & B	2" CAL	30' X 15'	MODERATE
GL	7	TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LITTLELEAF LINDEN	B & B	2" CAL	50' X 35'	LOW
GI	3	GLEDITSIA TRIACANTHOS 'IMPERIAL' / IMPERIAL HONEYLOCUST	B & B	2" CAL	45' X 40'	LOW
QR	1	QUERCUS RUBRA / RED OAK	B & B	2" CAL	50' X 40'	LOW
RSM	6	ACER RUBRUM 'RED SUNSET' / RED SUNSET MAPLE	B & B	2" CAL	45' X 35'	MODERATE
GS	11	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' TM / SHADEMASTER LOCUST	B & B	2" CAL	45' X 50'	LOW
QB	4	QUERCUS BICOLOR / SWAMP WHITE OAK	B & B	2" CAL	50' X 50'	LOW

EVERGREEN TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL / SIZE	HT X SPD	IRR_ZONE
PN-6HT	16	PINUS NIGRA / AUSTRIAN BLACK PINE	B & B	6" HT	50' X 30'	VERY LOW
PN-8HT	2	PINUS NIGRA / AUSTRIAN BLACK PINE	B & B	8" HT.	50' X 30'	VERY LOW
BP-8HT	7	PINUS HELDREICHII / BOSNIAN PINE	B & B	8" HT.	40' X 10'	LOW
PCG-6HT	3	PINUS LEUCODERMIS 'COMPACT GEM' / COMPACT UPRIGHT BOSNIAN PINE	B & B	6" HT	15' X 8'	LOW
VP-6HT	3	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID PINE	B & B	6" HT	25' X 15'	LOW
WBJ-6HT	20	JUNIPERUS SCOPULORUM 'WICHITA BLUE' / WICHITA BLUE JUNIPER	B & B	6" HT	20' X 6'	LOW

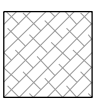
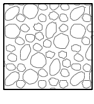
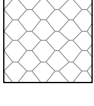
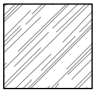
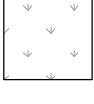

ORNAMENTAL TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL / SIZE	HT X SPD	IRR_ZONE
CCP	12	PYRUS CALLERYANA 'CAPITAL' / CAPITAL CALLERY PEAR	B & B	1.5" CAL	30' X 10'	LOW
ACM	24	ACER GINNALA 'COMPACTUM' / COMPACT AMUR MAPLE	B & B	6" CLUMP	18' X 18'	LOW
CSM	9	ACER PLATANOIDES 'CRIMSON SENTRY' / CRIMSON SENTRY MAPLE	B & B	1.5" CAL	25' X 15'	MODERATE

DECIDUOUS SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	HT X SPD	IRR_ZONE	LIGHT REQ.	SPACING
BSP	20	CARYOPTERIS INCANA / COMMON BLUEBEARD SPIREA	5 GAL	4' X 5'	LOW	FULL SUN	66" o.c.
CBB	4	EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH	5 GAL	4' X 4'	MODERATE	FIP SUN	66" o.c.
CC	15	COTONEASTER APICULATUS / CORAL BEAUTY COTONEASTER	5 GAL	2' X 5'	LOW	FIP SUN	60" o.c.
DNB	16	PHYSOCARPUS OPULIFOLIUS 'DIABLO' / DIABLO NINEBARK	5 GAL	6' X 8'	MODERATE	FULL SUN	72" o.c.
PL	17	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' TM / DWARF NINEBARK	5 GAL	3' X 4'	LOW	FULL SUN	48" o.c.
FMR	12	ROSA MEDILAND SERIES 'FIRE' / FIRE MEDILAND ROSE	5 GAL	2' X 4'	LOW	FULL SUN	36" o.c.
GC	22	RIBES AUREUM / GOLDEN CURRANT	5 GAL	6' X 6'	LOW	FIP SUN	72" o.c.
GFP	25	POTENTILLA FRUTICOSA 'GOLDFINGER' / GOLDFINGER POTENTILLA	5 GAL	3' X 4'	LOW	FULL SUN	48" o.c.
RHU	12	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	2' X 8'	LOW-MOD	SHADE-SUN	84" o.c.
KV	12	VIBURNUM CARLESII / KOREAN SPICE VIBURNUM	5 GAL	6' X 6'	MODERATE	FIP SUN	72" o.c.
MKL	38	SYRINGA PATULA 'MISS KIM' / MISS KIM LILAC	5 GAL	4' X 5'	LOW	FULL SUN	60" o.c.
VL	25	VIBURNUM LANTANA 'MOHICAN' / MOHICAN WAYFARING TREE	5 GAL	8' X 8'	LOW	FIP SUN	96" o.c.
NMP	5	FORESTIERA NEOMEXICANA / NEW MEXICO PRIVET	6' CLUMP	10' X 8'	LOW	FULL SUN	96" o.c.
DGN	16	PHYSOCARPUS OPULIFOLIUS 'DART'S GOLD' / NINEBARK, 'DART'S GOLD'	5 GAL	4' X 4'	LOW-MOD	FIP SUN	48" o.c.
PLS	36	PRUNUS X CISTENA / PURPLE LEAF SAND CHERRY	5 GAL	8' X 6'	LOW	FULL SUN	96" o.c.
RB	12	CHRYSOTHAMNUS NAUSEOSUS / RABBITBRUSH	5 GAL	4' X 4'	LOW	FIP SUN	72" o.c.
DKR	26	ROSA X 'DOUBLE KNOCKOUT' / ROSE, 'DOUBLE KNOCKOUT	5 GAL	3' X 5'	LOW	FULL SUN	60" o.c.
RGB	20	BERBERIS THUNBERGII 'ROSE GLOW' / ROSY GLOW BARBERRY	5 GAL	5' X 4'	LOW	FULL SUN	42" o.c.
RSA	37	PEROVSKIA ATRIPLICIFOLIA / RUSSIAN SAGE	5 GAL	5' X 4'	LOW-MOD	FULL SUN	66" o.c.
SW	50	SPIRAEA JAPONICA 'ANTHONY WATERER' / SPIREA, 'ANTHONY WATERER'	5 GAL	3' X 4'	LOW-MOD	FULL SUN	60" o.c.
RW	18	ROSA MEDILAND SERIES 'WHITE' / WHITE MEDILAND ROSE	5 GAL	2' X 4'	LOW	FULL SUN	48" o.c.
AG	11	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / 'AUTUMN BRILLIANCE' SERVICEBERRY	5 GAL	20' X 12'	LOW	FULL SUN	96" o.c.

EVERGREEN SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	HT X SPD	IRR_ZONE	LIGHT REQ.	SPACING
JUA	24	JUNIPERUS SABINA 'ARCADIA' / ARCADIA JUNIPER	5 GAL	2' X 6'	LOW	FULL SUN	72" o.c.
SCJ	21	JUNIPERUS SABINA 'SCANDIA' / SCANDIA JUNIPER	5 GAL	2' X 6'	LOW	FULL SUN	66" o.c.

GRASSES	QTY	BOTANICAL NAME / COMMON NAME	CONT	HT X SPD	IRR_ZONE	LIGHT REQ.	SPACING
MSA	9	MISCANTHUS SINENSIS 'ADAGIO' / ADAGIO EULALIA GRASS	1 GAL	5' X 3'	MODERATE	FULL SUN	60" o.c.
PMG	55	MISCANTHUS PURPURASCENS 'AUTUMN RED' / AUTUMN RED FLAME GRASS	1 GAL	5' X 3'	MODERATE	FULL SUN	42" o.c.
BOG	17	HELICTOTRICHON SEMPERVIRENS 'SAPPHIRE' / BLUE OAT GRASS	1 GAL	2' X 2'	LOW	FULL SUN	24" o.c.
DMG	19	MISCANTHUS SINENSIS 'YAKUSHIMA' / DWARF MAIDEN GRASS	1 GAL	3' X 4'	MODERATE	FIP SUN	36" o.c.
FRG	76	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	4' X 3'	LOW-MOD	FIP SUN	30" o.c.
PG	46	PENNISSETUM ALOPECUROIDES / FOUNTAIN GRASS	1 GAL	3' X 3'	LOW	FIP SUN	36" o.c.
PH	20	PANICUM VIRGATUM 'HEAVY METAL' / HEAVY METAL SWITCH GRASS	1 GAL	4' X 3'	LOW	FIP SUN	36" o.c.
MG	75	MISCANTHUS SINENSIS 'GOLD BAR' / MISCANTHUS 'GOLD BAR'	1 GAL	4' X 3'	LOW-MOD	FULL SUN	36" o.c.
PQG	34	MISCANTHUS SINENSIS 'STRICTUS' / PORCUPINE GRASS	1 GAL	6' X 5'	LOW-MOD	FIP SUN	60" o.c.
RVG	19	SACCHARUM RAVENNAE / RAVENNA GRASS	1 GAL	10' X 5'	MODERATE	FULL SUN	66" o.c.

PERENNIALS	QTY	BOTANICAL NAME / COMMON NAME	CONT	HT X SPD	IRR_ZONE	LIGHT REQ.	SPACING
CJ	18	CENTRANTHUS RUBER 'ALBIFLOROUS' / JUPITER'S BEARD	1 GAL	3' X 3'	LOW	FIP SUN	36" o.c.
DAY	64	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	1 GAL	1.5' X 1'	MODERATE	FIP SUN	18" o.c.

MULCH	QTY	BOTANICAL NAME / COMMON NAME
	1,565 SF	FIBAR MULCH / FIBAR MULCH
	27,022 SF	ROCK MULCH, 1.5"-3" DIA / ROCK MULCH, 1.5"-3" DIA 4" DEPTH
	2,785 SF	WOOD MULCH / WOOD MULCH 4" DEPTH
SEED	QTY	BOTANICAL NAME / COMMON NAME
	327,330 SF	DRYLAND SEED MIX - NON-IRRIG / DRYLAND SEED MIX - NON-IRRIG
	29,022 SF	WETLAND SEED MIX - NON-IRRIG / WETLAND SEED MIX - NON-IRRIG
SOD	QTY	BOTANICAL NAME / COMMON NAME
	43,861 SF	IRRIG. TURF, 'ENVIROTURF' / IRRIG. TURF, 'ENVIROTURF' TURF, 'ENVIROTURF'

**PARK AMENITY SCHEDULE**

ITEM	LINEAR PARK QTY.	PICNIC PARK QTY.	MEWS QTY.
PICNIC TABLE	1	1	1
BENCH	2	1	2
TRASH RECEPTACLE	1	1	1
PET STATION	1	1	2
BIKE RACK	1	1	0
SHELTER	1	1	0

ITEMS AND QUANTITIES REPRESENT MINIMUM PROPOSED AMENITIES. TYPES AND NUMBER OF AMENITIES MAY BE SUBJECT TO CHANGE.

**SEED & SOD MIXES**

DRYLAND MIX		WETLAND MIX	
COMMON NAME	%MIX	COMMON NAME	%MIX
COMMON WHEATGRASS	20%	CANADA WILD RYE	21%
SLENDER WHEATGRASS	15%	SLENDER WHEATGRASS	14%
MEADOW FESCUE	10%	SAND BLUESTEM	21%
PUBESCENT WHEATGRASS	10%	SIDEOATS GRAMA	14%
HARD FESCUE	10%	PRAIRIE DROPSEED	7%
CANADA BLUEGRASS	10%	SWITCHGRASS	6%
INDIAN GRASS	8%	SAND DROPSEED	1%
SIDEOATS GRAMA	7%	ANALOGUE SEDGE	1%
BLUE GRAMA	5%	AWLFRUIT SEDGE	1%
SWITCHGRASS	5%	INLAND SALTGRASS	7%
	100%	CALIFORNIAL POPPY	7%

SEED RATE: 15-20 LBS/AC. (DRILLED)  
SUPPLIER: ARKANSAS VALLEY SEED

SEED RATE: 14-16 LBS/AC. (DRILLED)  
SUPPLIER: ARKANSAS VALLEY SEED

**IRRIGATED SOD**


PRODUCT: 'ENVIROTURF'  
SUPPLIER: TURF MASTER

people creating spaces

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Pomponio TERRACE



FINAL DEVELOPMENT PLAN

**POMPONIO TERRACE FILINGS 1 & 2**

ADAMS COUNTY, CO 80030

**NOTES & PLANT SCHEDULE**

PROJECT NO: PHT004.01  
DESIGNED BY: PCS GROUP  
DRAWN BY: JI  
DATE: 08/11/16

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**RESIDENTIAL LANDSCAPE NOTES**

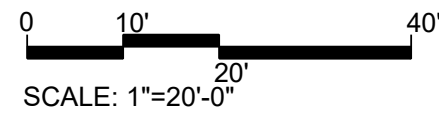
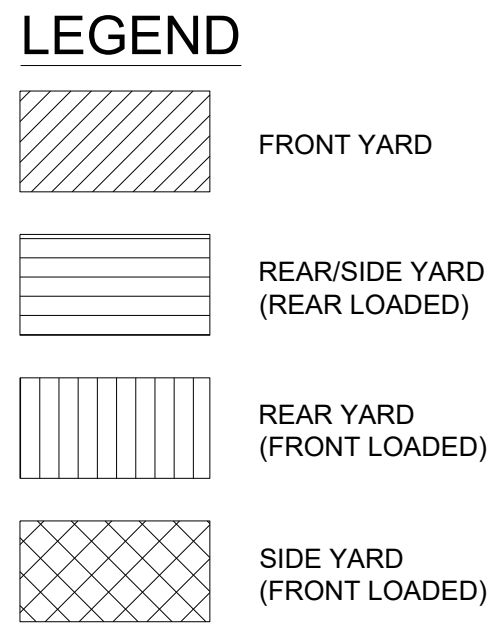
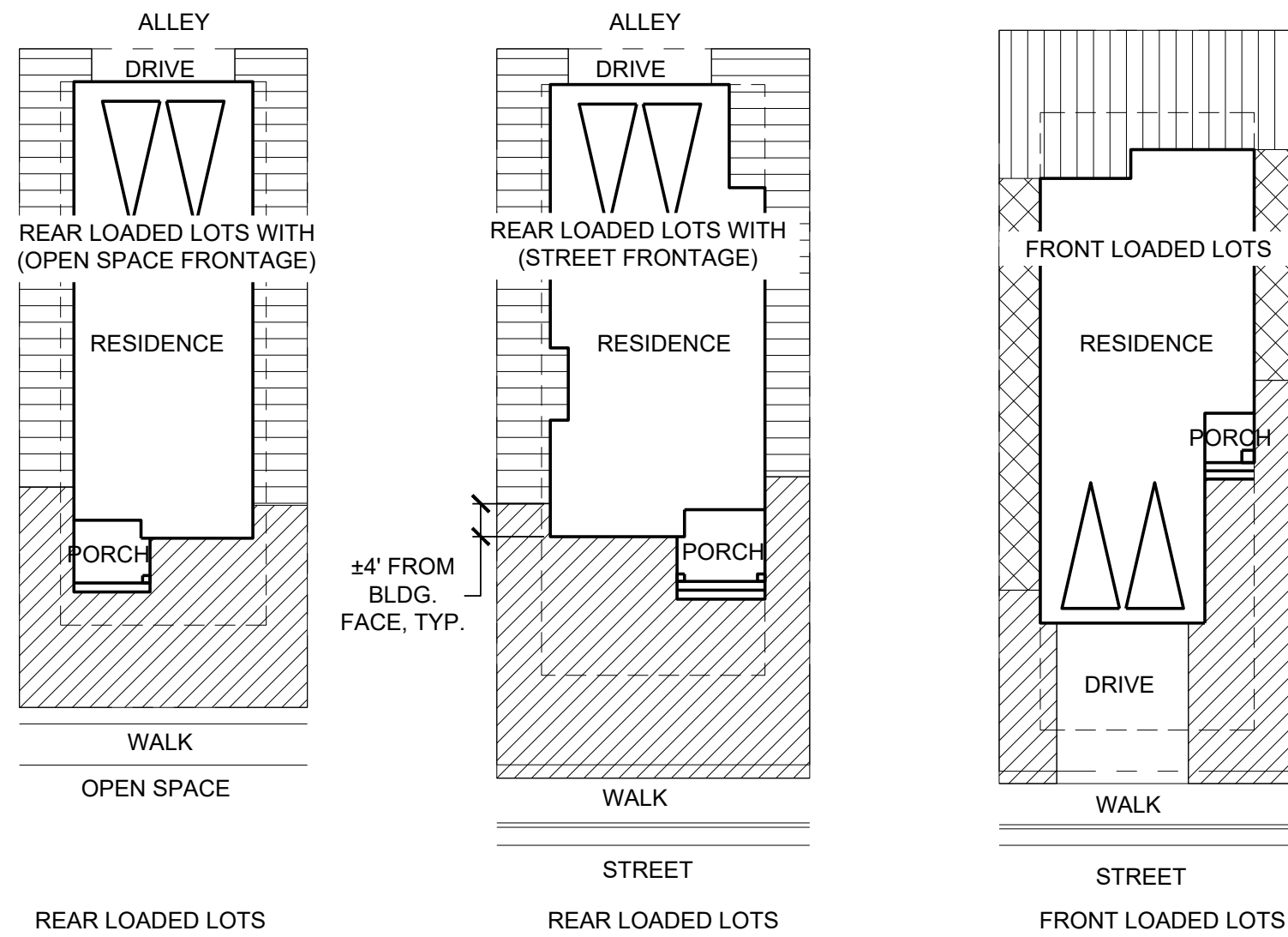
1. ALL LANDSCAPE AREAS SHALL RECEIVE SOIL AMENDMENT AT THE RATE OF 4 CUBIC YARDS PER THOUSAND SQUARE FEET.
2. TREES SHALL BE INSTALLED TO MAINTAIN A MINIMUM SEPARATION DISTANCE OF 6' FROM WATER & SEWER SERVICE LINES AND 4' FROM DRY UTILITY LINES.
3. WITHIN SIGHT TRIANGLES, PLANTINGS TALLER THAN 36" FROM GUTTER FLOWLINE SHALL NOT BE INSTALLED. SHADE/ORNAMENTAL TREES MAY BE ALLOWED WITHIN SIGHT TRIANGLES BUT SHALL BE LIMBED UP TO A HEIGHT OF 8' ABOVE ADJACENT GUTTER FLOWLINE.
4. NO TREES SHALL BE PLANTED THAT MAY OBSTRUCT TRAFFIC SIGNAGE.
5. TREES SHALL NOT BE PLANTED WITHIN 15' OF POLE-MOUNTED STREET LIGHTS.
6. RIGHT OF WAY LANDSCAPE MUST INCORPORATE A MINIMUM 50% LIVING GROUND COVER IN ADDITION TO TREES/SHRUBS.

**COUNTY PERFORMANCE STANDARDS, RESIDENTIAL USES**

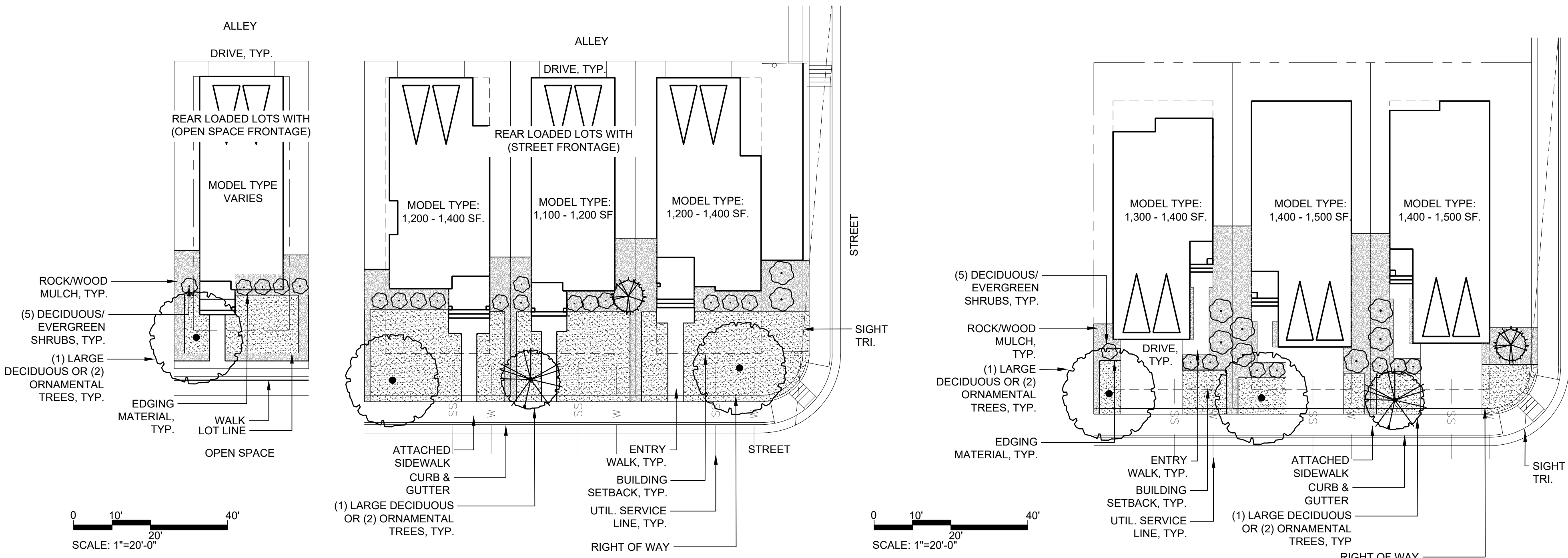
1. FRONT AND SIDE SETBACKS: THE ENTIRE FRONT AND SIDE SETBACKS SHALL BE LANDSCAPED, EXCEPT FOR DRIVEWAYS.
2. BACK YARD SETBACK: A MINIMUM OF THIRTY PERCENT (30%) OF THE BACK YARD SHALL BE LANDSCAPED.
3. REQUIRED GROUND COVER: A MINIMUM OF THIRTY PERCENT (30%) OF THE REQUIRED FRONT AND SIDE LANDSCAPE AREA MUST BE COVERED BY LIVING GROUND MATERIAL, SUCH AS LOW GROWING GROUND COVER, SHRUBS, OR GRASS, WITHIN ONE (1) YEAR FOLLOWING OCCUPANCY AND THEREAFTER.
4. REQUIRED TREES AND SHRUBS: A MINIMUM OF ONE (1) LARGE TREE AND FIVE (5) SHRUBS, OR TWO (2) ORNAMENTAL TREES AND FIVE (5) SHRUBS, SHALL BE REQUIRED FOR EACH LOT. EVERGREENS SHALL BE CONSIDERED ORNAMENTAL.
5. ALL LANDSCAPE SHALL BE REVIEWED/APPROVED/ENFORCED BY THE PTMD.
6. MINIMUM SIZE REQUIREMENTS: MINIMUM SIZE REQUIREMENTS FOR TREES AND SHRUBS SHALL BE:

**MINIMUM RESIDENTIAL PLANT SIZES**

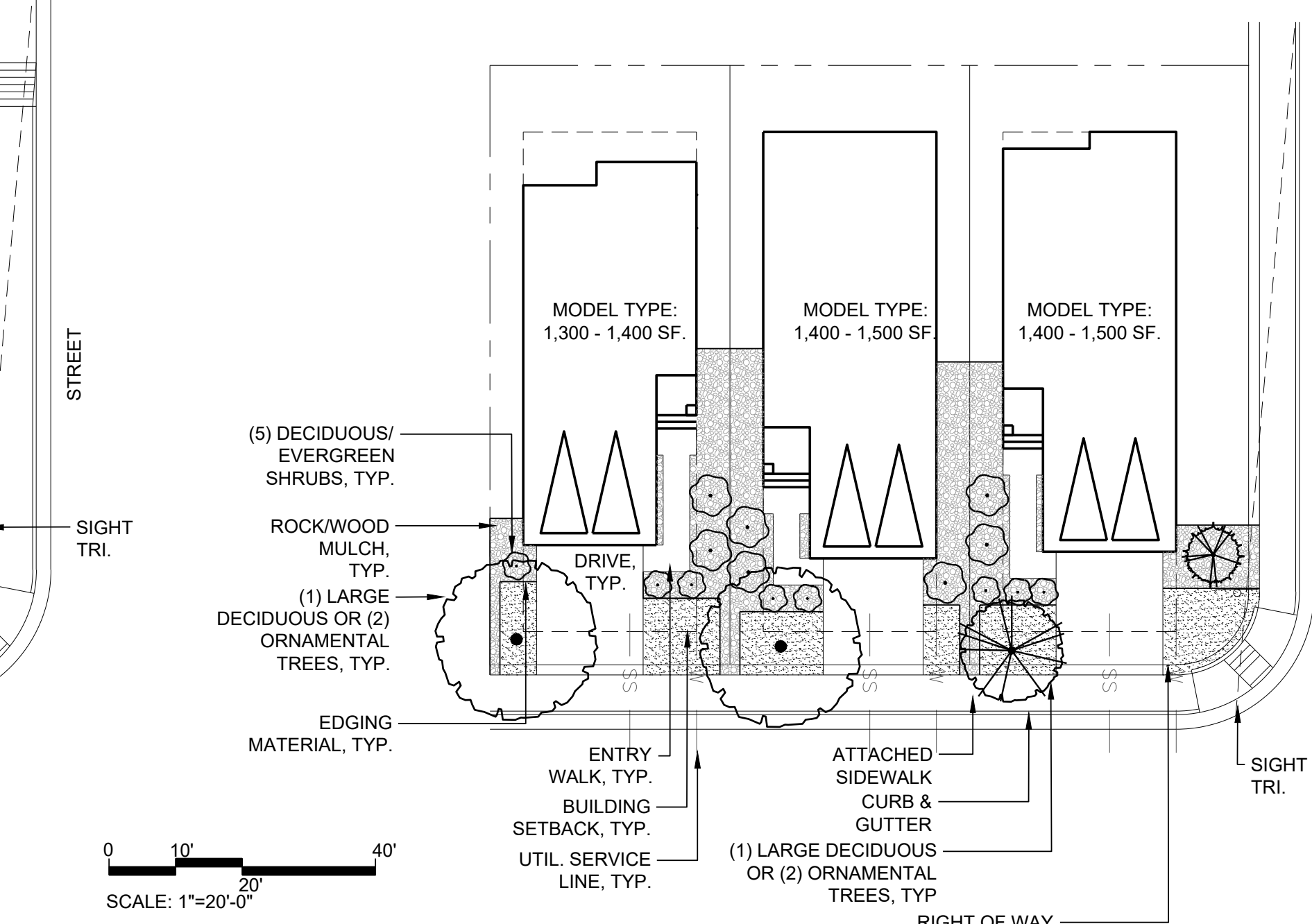
PLANT TYPE	MATURITY HEIGHT	MINIMUM PLANT SIZE AT PLANTING
ORNAMENTALS	LESS THAN 20'	1" TO 1.5"
LARGE DECIDUOUS	OVER 20'	2' TO 2.5"
EVERGREENS (SM.)	LESS THAN 20'	5' HT.
EVERGREENS (LG.)	OVER 20'	6' HT.
LOW SHRUBS	1' TO 3'	5 GALLON
UPRIGHT SHRUBS	3' TO 10'	5 GALLON



REAR LOADED LOTS FRONTING OPEN SPACE  
REAR LOADED LOTS  
FRONT LOADED LOTS  
**1** LANDSCAPE AREA DEFINITIONS - TYPICAL RESIDENTIAL LOT



**2** TYPICAL FRONT YARD LANDSCAPE - REAR LOADED LOT



**3** TYPICAL FRONT YARD LANDSCAPE - FRONT LOADED LOT

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FINAL DEVELOPMENT PLAN  
**POMPONIO TERRACE FILINGS 1 & 2**  
ADAMS COUNTY, CO 80030  
**RESIDENTIAL LANDSCAPE STANDARDS**

PROJECT NO: PHT004.01  
DESIGNED BY: PCS GROUP  
DRAWN BY: JI  
DATE: 08/11/16

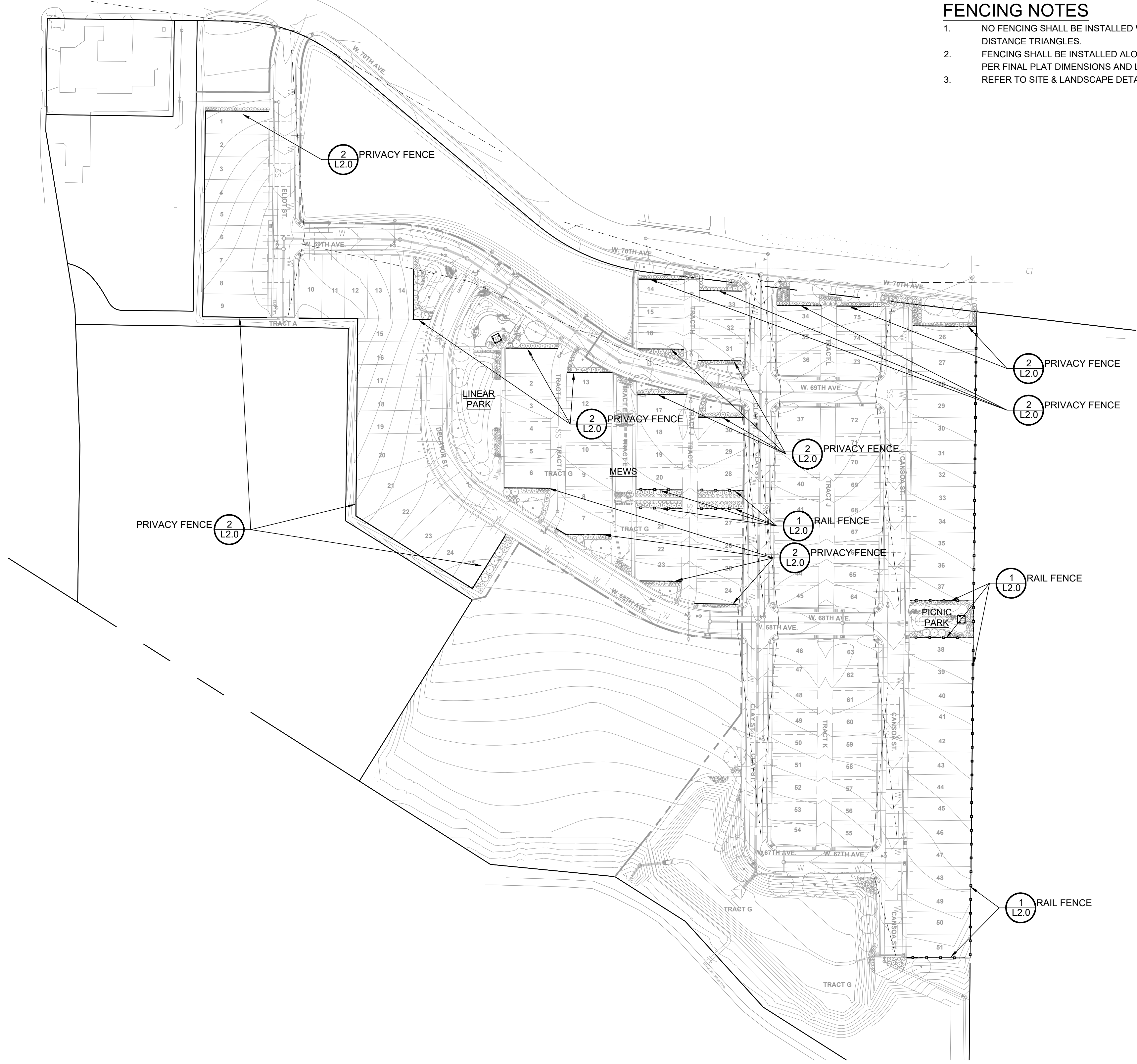
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### FENCING NOTES

1. NO FENCING SHALL BE INSTALLED WITHIN SIGHT DISTANCE TRIANGLES.
2. FENCING SHALL BE INSTALLED ALONG LOT/PROPERTY LINES PER FINAL PLAT DIMENSIONS AND LAYOUT.
3. REFER TO SITE & LANDSCAPE DETAILS FOR FENCE DETAILS



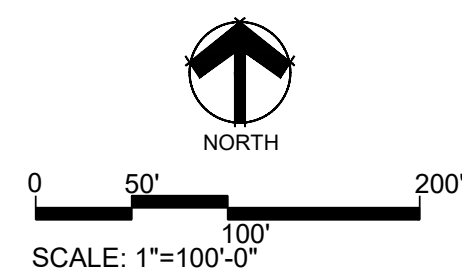
518 17th Street  
 Suite 1575  
 Denver, CO 80202  
 www.ees.us.com  
 303-572-7997



**FINAL DEVELOPMENT PLAN**  
**POMPONIO TERRACE FILINGS 1 & 2**  
 ADAMS COUNTY, CO 80030  
**OVERALL FENCING & LANDSCAPE PLAN**

PROJECT NO: PHT004.01  
 DESIGNED BY: PCS GROUP  
 DRAWN BY: JI  
 DATE: 08/11/16

**L1.0**



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 1.303.531.4905 f.303.531.4908



PLANT / GROUNDCOVER LIST

DECIDUOUS TREES	COMMON NAME
HAC	COMMON HACKBERRY
DNM	DEBORAH MAPLE
ARM	FREEMAN MAPLE
GL	GREENSPIRE LITTLELEAF LINDEN
GI	IMPERIAL HONEYLOCUST
QR	RED OAK
RSM	RED SUNSET MAPLE
GS	SHADEMASTER LOCUST
QB	SWAMP WHITE OAK

EVERGREEN TREES	COMMON NAME
PN-6HT	AUSTRIAN BLACK PINE
PN-8HT	AUSTRIAN BLACK PINE
BP-8HT	BOSNIAN PINE
PCG-6HT	COMPACT UPRIGHT BOSNIAN PINE
VP-6HT	VANDERWOLF'S PYRAMID PINE
WBJ-6HT	WICHITA BLUE JUNIPER

ORNAMENTAL TREES	COMMON NAME
CCP	CAPITAL CALLERY PEAR
ACM	COMPACT AMUR MAPLE
CSM	CRIMSON SENTRY MAPLE

DECIDUOUS SHRUBS	COMMON NAME
BSP	COMMON BLUEBEARD SPIREA
CBB	COMPACT BURNING BUSH
CC	CORAL BEAUTY COTONEASTER
DNB	DIABLO NINEBARK
PL	DWARF NINEBARK
FMR	FIRE MEIDLAND ROSE
GC	GOLDEN CURRANT
GFP	GOLDFINGER POTENTILLA
RHU	GRO-LOW FRAGRANT SUMAC
KV	KOREAN SPICE VIBURNUM
MKL	MISS KIM LILAC
VL	MOHICAN WAYFARING TREE
NMP	NEW MEXICO PRIVET
DGN	NINEBARK, 'DART'S GOLD'
PLS	PURPLE LEAF SAND CHERRY
RB	RABBITBRUSH
DKR	ROSE, 'DOUBLE KNOCKOUT
RGB	ROSY GLOW BARBERRY
RSA	RUSSIAN SAGE
SW	SPIREA, 'ANTHONY WATERER'
RW	WHITE MEIDLAND ROSE
AG	'AUTUMN BRILLIANCE' SERVICEBERRY

EVERGREEN SHRUBS	COMMON NAME
JUA	ARCADIA JUNIPER
SCJ	SCANDIA JUNIPER

GRASSES	COMMON NAME
MSA	ADAGIO EULALIA GRASS
PMG	AUTUMN RED FLAME GRASS
BOG	BLUE OAT GRASS
DMG	DWARF MAIDEN GRASS
FRG	FEATHER REED GRASS
PG	FOUNTAIN GRASS
PH	HEAVY METAL SWITCH GRASS
MG	MISCANTHUS 'GOLD BAR'
POG	PORCUPINE GRASS
RVG	RAVENNA GRASS

PERENNIALS	COMMON NAME
CJ	JUPITER'S BEARD
DAY	STELLA DE ORO DAYLILY

MULCH	COMMON NAME
[Symbol]	FIBAR MULCH
[Symbol]	ROCK MULCH, 1.5"-3" DIA
[Symbol]	WOOD MULCH

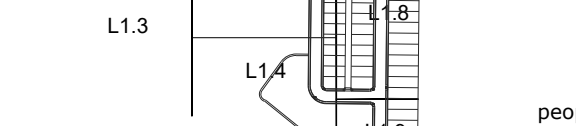
SEED	COMMON NAME
[Symbol]	DRYLAND SEED MIX - NON-IRRIG
[Symbol]	WETLAND SEED MIX - NON-IRRIG

SOD	COMMON NAME
[Symbol]	IRRIG. TURF, 'ENVIROTURF'

MULCH	COMMON NAME
[Symbol]	FIBAR MULCH
[Symbol]	ROCK MULCH, 1.5"-3" DIA
[Symbol]	WOOD MULCH

SEED	COMMON NAME
[Symbol]	DRYLAND SEED MIX - NON-IRRIG
[Symbol]	WETLAND SEED MIX - NON-IRRIG

SOD	COMMON NAME
[Symbol]	IRRIG. TURF, 'ENVIROTURF'



people creating spaces  
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FINAL DEVELOPMENT PLAN

**POMPONIO TERRACE FILINGS 1 & 2**

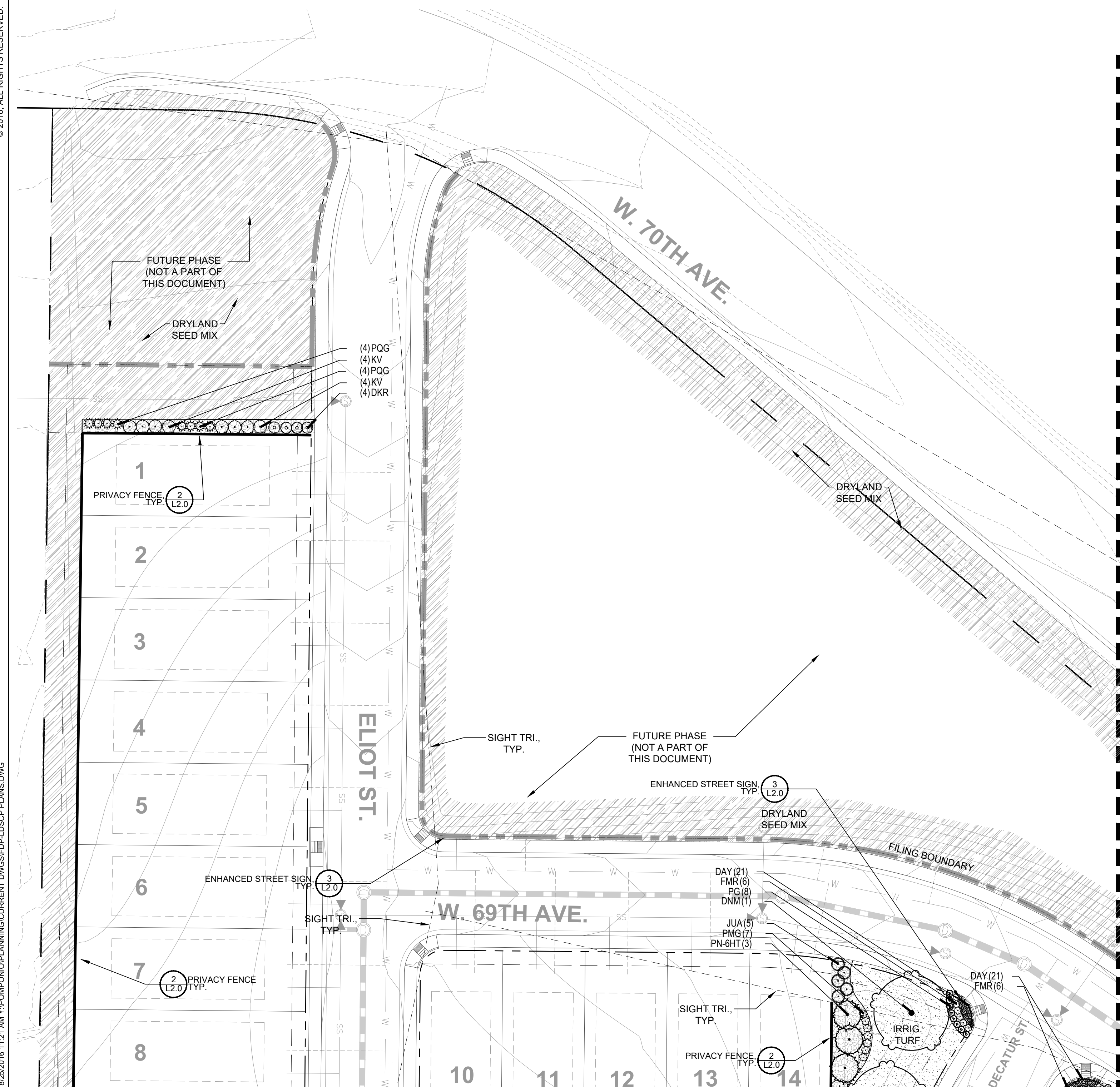
ADAMS COUNTY, CO 80030

**LANDSCAPE PLAN**

---

PROJECT NO: PHT004.01  
 DESIGNED BY: PCS GROUP  
 DRAWN BY: JI  
 DATE: 08/11/16

**L1.1**



SHEET-L1.6

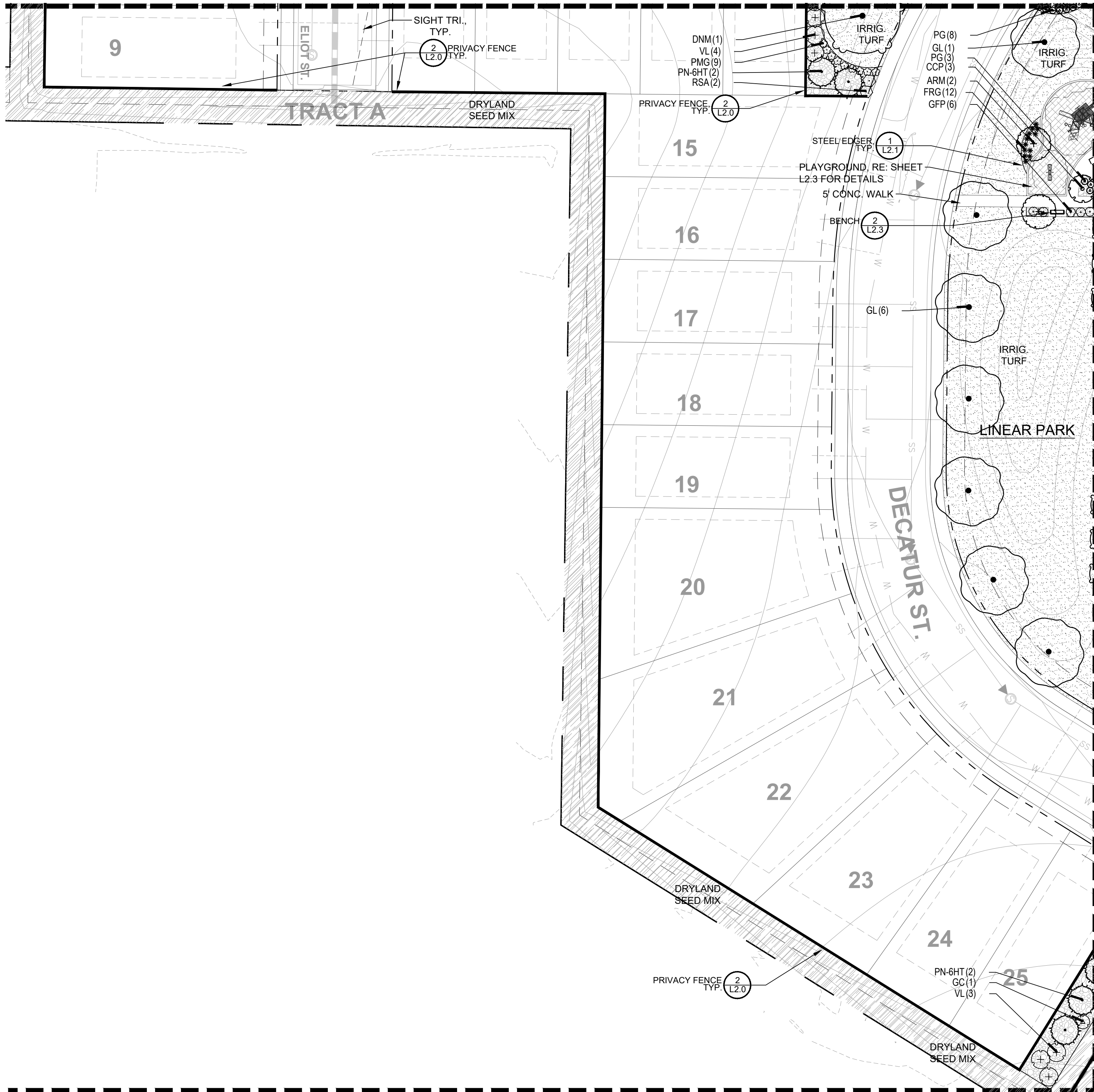
SHEET-L1.2

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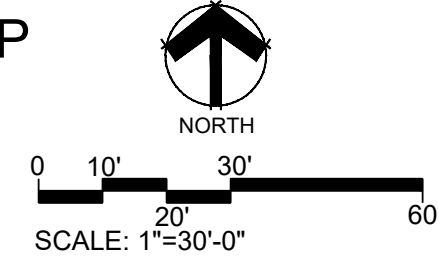
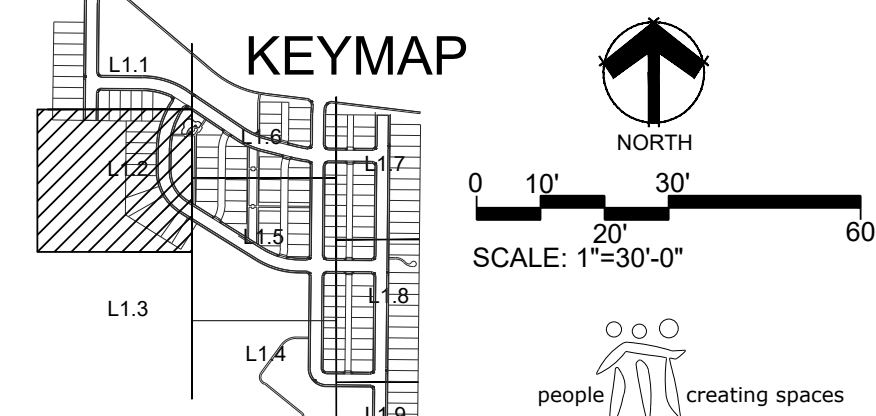


SHEET-L1.1



PLANT / GROUNDCOVER LIST

COMMON NAME	COMMON NAME
<b>DECIDUOUS TREES</b>	<b>COMMON NAME</b>
HAC COMMON HACKBERRY	PN-6HT AUSTRIAN BLACK PINE
DNM DEBORAH MAPLE	PN-8HT AUSTRIAN BLACK PINE
ARM FREEMAN MAPLE	BP-8HT BOSNIAN PINE
GL GREENSPIRE LITTLELEAF LINDEN	PCG-6HT COMPACT UPRIGHT BOSNIAN PINE
GI IMPERIAL HONEYLOCUST	VP-6HT VANDERWOLF'S PYRAMID PINE
QR RED OAK	WBJ-6HT WICHITA BLUE JUNIPER
RSM RED SUNSET MAPLE	
GS SHADEMASTER LOCUST	<b>ORNAMENTAL TREES</b>
QB SWAMP WHITE OAK	CCP CAPITAL CALLERY PEAR
	ACM COMPACT AMUR MAPLE
	CSM CRIMSON SENTRY MAPLE
<b>EVERGREEN TREES</b>	<b>DECIDUOUS SHRUBS</b>
PN-6HT AUSTRIAN BLACK PINE	BSP COMMON BLUEBEARD SPIREA
PN-8HT AUSTRIAN BLACK PINE	CBB COMPACT BURNING BUSH
BP-8HT BOSNIAN PINE	CC CORAL BEAUTY COTONEASTER
PCG-6HT COMPACT UPRIGHT BOSNIAN PINE	DNB DIABLO NINEBARK
VP-6HT VANDERWOLF'S PYRAMID PINE	PL DWARF NINEBARK
WBJ-6HT WICHITA BLUE JUNIPER	FMR FIRE MEIDLAND ROSE
	GC GOLDEN CURRANT
<b>ORNAMENTAL TREES</b>	GFP GOLDFINGER POTENTILLA
CCP CAPITAL CALLERY PEAR	RHU GRO-LOW FRAGRANT SUMAC
ACM COMPACT AMUR MAPLE	KV KOREAN SPICE VIBURNUM
CSM CRIMSON SENTRY MAPLE	MKL MISS KIM LILAC
	VL MOHICAN WAYFARING TREE
<b>DECIDUOUS SHRUBS</b>	NMP NEW MEXICO PRIVET
BSP COMMON BLUEBEARD SPIREA	PLS NINEBARK, 'DART'S GOLD'
CBB COMPACT BURNING BUSH	PP PURPLE LEAF SAND CHERRY
CC CORAL BEAUTY COTONEASTER	RBB RABBITBRUSH
DNB DIABLO NINEBARK	ROSE 'DOUBLE KNOCKOUT
PL DWARF NINEBARK	RGB ROSY GLOW BARBERRY
FMR FIRE MEIDLAND ROSE	RSA RUSSIAN SAGE
GC GOLDEN CURRANT	SW SPIREA, 'ANTHONY WATERER'
GFP GOLDFINGER POTENTILLA	RW WHITE MEIDLAND ROSE
RHU GRO-LOW FRAGRANT SUMAC	AG 'AUTUMN BRILLIANCE' SERVICEBERRY
KV KOREAN SPICE VIBURNUM	
MKL MISS KIM LILAC	<b>EVERGREEN SHRUBS</b>
VL MOHICAN WAYFARING TREE	JUA ARCADIA JUNIPER
NMP NEW MEXICO PRIVET	SCJ SCANDIA JUNIPER
PLS NINEBARK, 'DART'S GOLD'	
PP PURPLE LEAF SAND CHERRY	<b>GRASSES</b>
RBB RABBITBRUSH	MSA ADAGIO EULALIA GRASS
ROSE 'DOUBLE KNOCKOUT	PMG AUTUMN RED FLAME GRASS
RGB ROSY GLOW BARBERRY	BOG BLUE OAT GRASS
RSA RUSSIAN SAGE	DMG DWARF MAIDEN GRASS
SW SPIREA, 'ANTHONY WATERER'	FRG FEATHER REED GRASS
RW WHITE MEIDLAND ROSE	PG FOUNTAIN GRASS
AG 'AUTUMN BRILLIANCE' SERVICEBERRY	PH HEAVY METAL SWITCH GRASS
	MG MISCANTHUS 'GOLD BAR'
<b>EVERGREEN SHRUBS</b>	POG PORCUPINE GRASS
JUA ARCADIA JUNIPER	RVG RAVENNA GRASS
SCJ SCANDIA JUNIPER	
	<b>PERENNIALS</b>
<b>GRASSES</b>	CJ JUPITER'S BEARD
MSA ADAGIO EULALIA GRASS	DAY STELLA DE ORO DAYLILY
PMG AUTUMN RED FLAME GRASS	
BOG BLUE OAT GRASS	<b>MULCH</b>
DMG DWARF MAIDEN GRASS	FIBAR MULCH
FRG FEATHER REED GRASS	ROCK MULCH, 1.5"-3" DIA
PG FOUNTAIN GRASS	WOOD MULCH
PH HEAVY METAL SWITCH GRASS	
MG MISCANTHUS 'GOLD BAR'	<b>SEED</b>
POG PORCUPINE GRASS	DRYLAND SEED MIX - NON-IRRIG
RVG RAVENNA GRASS	WETLAND SEED MIX - NON-IRRIG
<b>PERENNIALS</b>	<b>SOD</b>
CJ JUPITER'S BEARD	IRRIG. TURF, 'ENVIROTURF'
DAY STELLA DE ORO DAYLILY	



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FINAL DEVELOPMENT PLAN  
**POMPONIO TERRACE FILINGS 1 & 2**  
 ADAMS COUNTY, CO 80030  
**LANDSCAPE PLAN**

PROJECT NO: PHT004.01  
 DESIGNED BY: PCS GROUP  
 DRAWN BY: JI  
 DATE: 08/11/16

L1.2



SHEET-L1.2

SHEET-L1.5

SHEET-L1.4

PLANT / GROUNDCOVER LIST

DECIDUOUS TREES	COMMON NAME
HAC	COMMON HACKBERRY
DNM	DEBORAH MAPLE
ARM	FREEMAN MAPLE
GL	GREENSPIRE LITTLELEAF LINDEN
GI	IMPERIAL HONEYLOCUST
QR	RED OAK
RSM	RED SUNSET MAPLE
GS	SHADEMASTER LOCUST
QB	SWAMP WHITE OAK

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PL	DWARF NINEBARK
FMR	FIRE MEIDLAND ROSE
GC	GOLDEN CURRANT
GFP	GOLDFINGER POTENTILLA
RHU	GRO-LOW FRAGRANT SUMAC
KV	KOREAN SPICE VIBURNUM
MKL	MISS KIM LILAC
VL	MOHICAN WAYFARING TREE
NMP	NEW MEXICO PRIVET
DGN	NINEBARK, 'DART'S GOLD'
PLS	PURPLE LEAF SAND CHERRY
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POG	PORCUPINE GRASS
RVG	RAVENNA GRASS

PERENNIALS	COMMON NAME
CJ	JUPITER'S BEARD
DAY	STELLA DE ORO DAYLILY

MULCH	COMMON NAME
[Symbol]	FIBAR MULCH
[Symbol]	ROCK MULCH, 1.5"-3" DIA
[Symbol]	WOOD MULCH

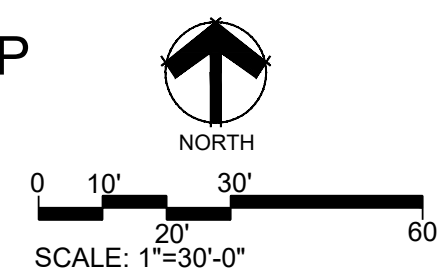
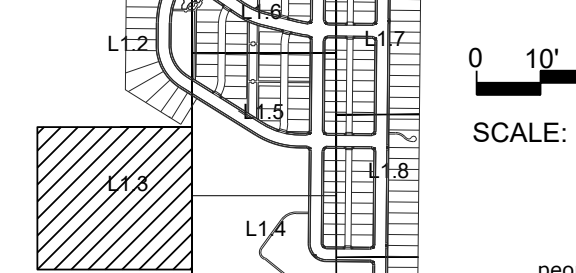
SEED	COMMON NAME
[Symbol]	DRYLAND SEED MIX - NON-IRRIG
[Symbol]	WETLAND SEED MIX - NON-IRRIG

SOD	COMMON NAME
[Symbol]	IRRIG. TURF, 'ENVIROTURF'

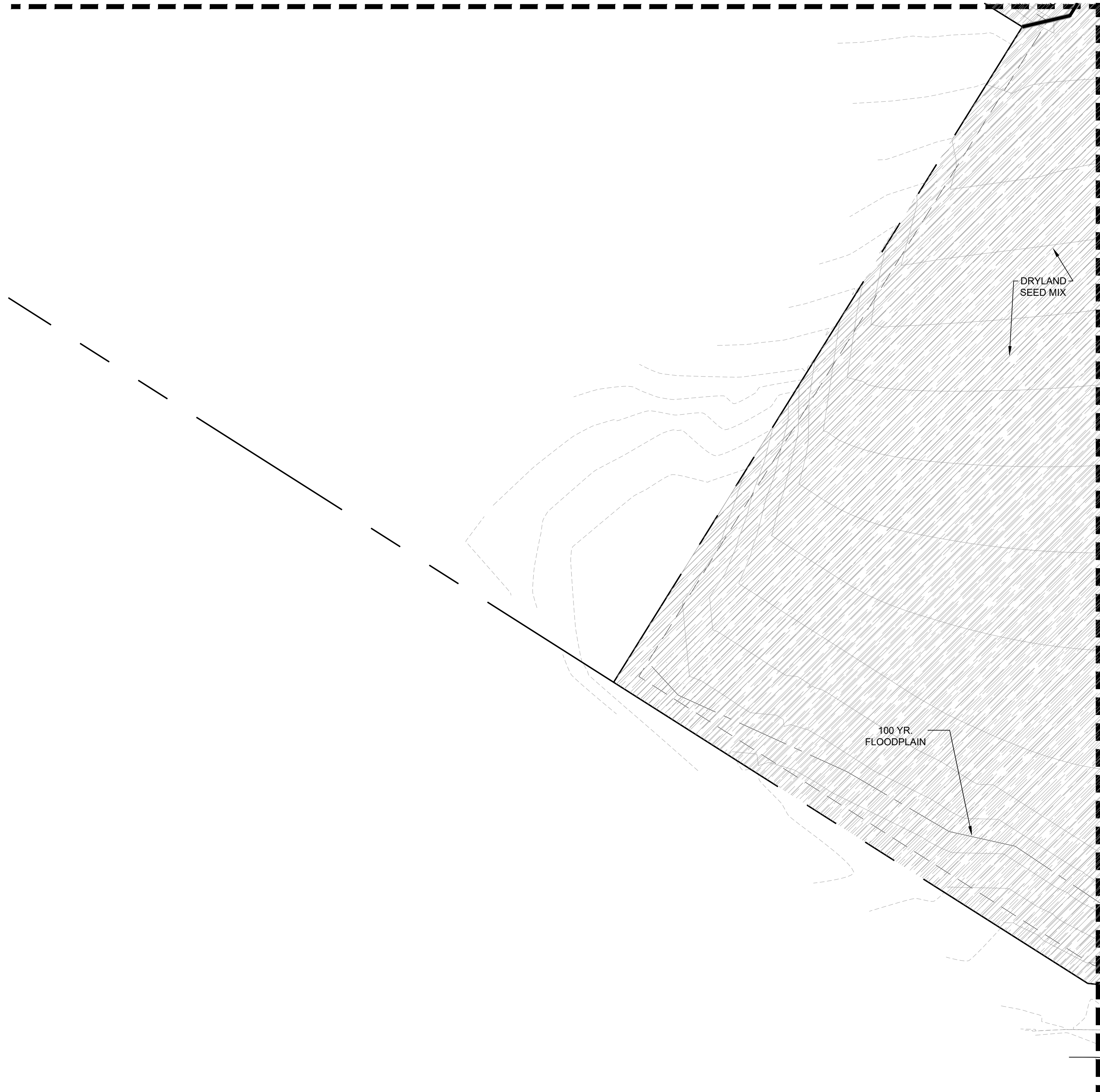
MULCH	COMMON NAME
[Symbol]	FIBAR MULCH
[Symbol]	ROCK MULCH, 1.5"-3" DIA
[Symbol]	WOOD MULCH

SEED	COMMON NAME
[Symbol]	DRYLAND SEED MIX - NON-IRRIG
[Symbol]	WETLAND SEED MIX - NON-IRRIG

SOD	COMMON NAME
[Symbol]	IRRIG. TURF, 'ENVIROTURF'



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FINAL DEVELOPMENT PLAN  
**POMPONIO TERRACE FILINGS 1 & 2**  
 ADAMS COUNTY, CO 80030  
**LANDSCAPE PLAN**

PROJECT NO: PHT004.01  
 DESIGNED BY: PCS GROUP  
 DRAWN BY: JI  
 DATE: 08/11/16

**L1.3**



SHEET-L1.5

PLANT / GROUNDCOVER LIST

DECIDUOUS TREES	COMMON NAME
HAC	COMMON HACKBERRY
DNM	DEBORAH MAPLE
ARM	FREEMAN MAPLE
GL	GREENSPIRE LITTLELEAF LINDEN
GI	IMPERIAL HONEYLOCUST
QR	RED OAK
RSM	RED SUNSET MAPLE
GS	SHADEMASTER LOCUST
QB	SWAMP WHITE OAK

EVERGREEN TREES	COMMON NAME
PN-6HT	AUSTRIAN BLACK PINE
PN-8HT	AUSTRIAN BLACK PINE
BP-8HT	BOSNIAN PINE
PCG-6HT	COMPACT UPRIGHT BOSNIAN PINE
VP-6HT	VANDERWOLF'S PYRAMID PINE
WBJ-6HT	WICHITA BLUE JUNIPER

ORNAMENTAL TREES	COMMON NAME
CCP	CAPITAL CALLERY PEAR
ACM	COMPACT AMUR MAPLE
CSM	CRIMSON SENTRY MAPLE

DECIDUOUS SHRUBS	COMMON NAME
BSP	COMMON BLUEBEARD SPIREA
CBB	COMPACT BURNING BUSH
CC	CORAL BEAUTY COTONEASTER
DNB	DIABLO NINEBARK
PL	DWARF NINEBARK
FMR	FIRE MEIDLAND ROSE
GC	GOLDEN CURRANT
GFP	GOLDFINGER POTENTILLA
RHU	GRO-LOW FRAGRANT SUMAC
KV	KOREAN SPICE VIBURNUM
MKL	MISS KIM LILAC
VL	MOHICAN WAYFARING TREE
NMP	NEW MEXICO PRIVET
DGN	NINEBARK, 'DART'S GOLD'
PLS	PURPLE LEAF SAND CHERRY
RB	RABBITBRUSH
DKR	ROSE, 'DOUBLE KNOCKOUT
RGB	ROSY GLOW BARBERRY
RSA	RUSSIAN SAGE
SW	SPIREA, 'ANTHONY WATERER'
RW	WHITE MEIDLAND ROSE
AG	'AUTUMN BRILLIANCE' SERVICEBERRY

EVERGREEN SHRUBS	COMMON NAME
JUA	ARCADIA JUNIPER
SCJ	SCANDIA JUNIPER

GRASSES	COMMON NAME
MSA	ADAGIO EULALIA GRASS
PMG	AUTUMN RED FLAME GRASS
BOG	BLUE OAT GRASS
DMG	DWARF MAIDEN GRASS
FRG	FEATHER REED GRASS
PG	FOUNTAIN GRASS
PH	HEAVY METAL SWITCH GRASS
MG	MISCANTHUS 'GOLD BAR'
POG	PORCUPINE GRASS
RVG	RAVENNA GRASS

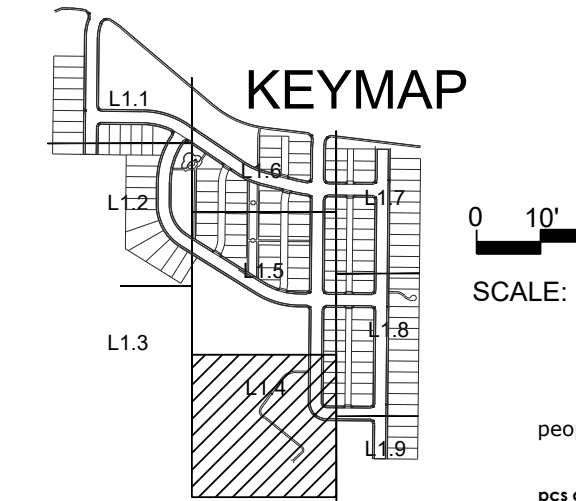
PERENNIALS	COMMON NAME
CJ	JUPITER'S BEARD
DAY	STELLA DE ORO DAYLILY

MULCH	COMMON NAME
[Symbol]	FIBAR MULCH
[Symbol]	ROCK MULCH, 1.5"-3" DIA
[Symbol]	WOOD MULCH

SEED	COMMON NAME
[Symbol]	DRYLAND SEED MIX - NON-IRRIG
[Symbol]	WETLAND SEED MIX - NON-IRRIG

SOD	COMMON NAME
[Symbol]	IRRIG. TURF, 'ENVIROTURF'

SOD	COMMON NAME
[Symbol]	IRRIG. TURF, 'ENVIROTURF'

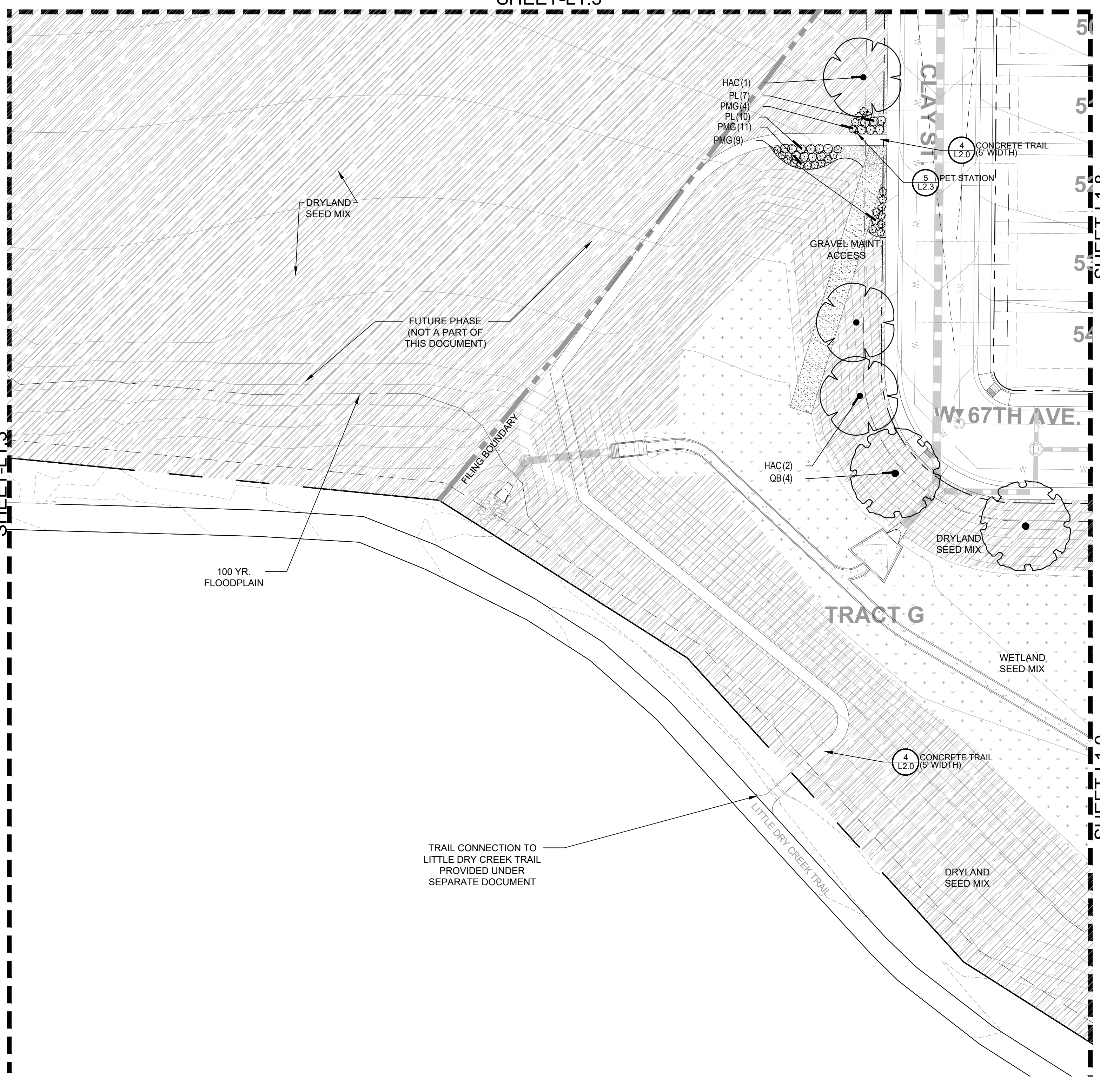


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SHEET-L1.3

SHEET-L1.8

SHEET-L1.9



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*Pomponio*  
TERRACE

FINAL DEVELOPMENT PLAN  
**POMPONIO TERRACE FILINGS 1 & 2**  
ADAMS COUNTY, CO 80030  
**LANDSCAPE PLAN**

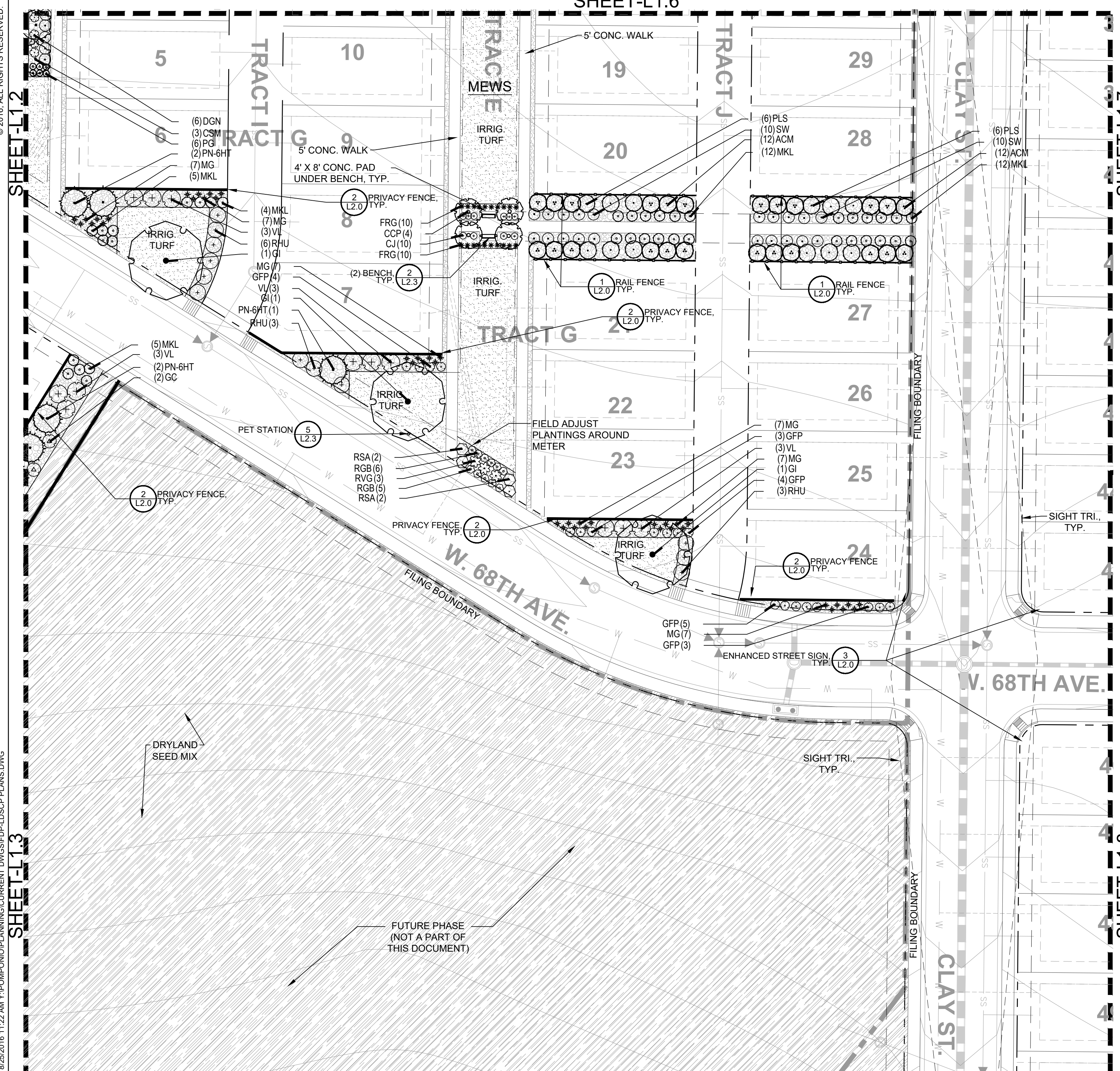
PROJECT NO: PHT004.01  
DESIGNED BY: PCS GROUP  
DRAWN BY: JI  
DATE: 08/11/16

**L1.4**

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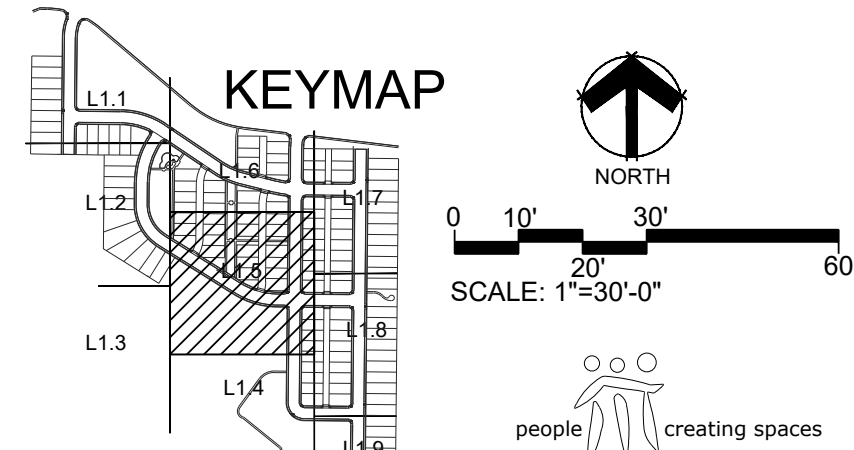


SHEET-L1.6



PLANT / GROUND COVER LIST

- |                         |                                  |
|-------------------------|----------------------------------|
| <b>DECIDUOUS TREES</b>  | <b>COMMON NAME</b>               |
| HAC                     | COMMON HACKBERRY                 |
| DNM                     | DEBORAH MAPLE                    |
| ARM                     | FREEMAN MAPLE                    |
| GL                      | GREENSPIRE LITTLELEAF LINDEN     |
| GI                      | IMPERIAL HONEYLOCUST             |
| QR                      | RED OAK                          |
| RSM                     | RED SUNSET MAPLE                 |
| GS                      | SHADEMASTER LOCUST               |
| QB                      | SWAMP WHITE OAK                  |
| <b>EVERGREEN TREES</b>  | <b>COMMON NAME</b>               |
| PN-6HT                  | AUSTRIAN BLACK PINE              |
| PN-8HT                  | AUSTRIAN BLACK PINE              |
| BP-8HT                  | BOSNIAN PINE                     |
| PCG-6HT                 | COMPACT UPRIGHT BOSNIAN PINE     |
| VP-6HT                  | VANDERWOLF'S PYRAMID PINE        |
| WBJ-6HT                 | WICHITA BLUE JUNIPER             |
| <b>ORNAMENTAL TREES</b> | <b>COMMON NAME</b>               |
| CCP                     | CAPITAL CALLERY PEAR             |
| ACM                     | COMPACT AMUR MAPLE               |
| CSM                     | CRIMSON SENTRY MAPLE             |
| <b>DECIDUOUS SHRUBS</b> | <b>COMMON NAME</b>               |
| BSP                     | COMMON BLUEBEARD SPIREA          |
| CBB                     | COMPACT BURNING BUSH             |
| CC                      | CORAL BEAUTY COTONEASTER         |
| DNB                     | DIABLO NINEBARK                  |
| PL                      | DWARF NINEBARK                   |
| FMR                     | FIRE MEIDLAND ROSE               |
| GC                      | GOLDEN CURRANT                   |
| GFP                     | GOLDFINGER POTENTILLA            |
| RHU                     | GRO-LOW FRAGRANT SUMAC           |
| KV                      | KOREAN SPICE VIBURNUM            |
| MKL                     | MISS KIM LILAC                   |
| VL                      | MOHICAN WAYFARING TREE           |
| NMP                     | NEW MEXICO PRIVET                |
| DGN                     | NINEBARK, 'DART'S GOLD'          |
| PLS                     | PURPLE LEAF SAND CHERRY          |
| RB                      | RABBITBRUSH                      |
| DKR                     | ROSE, 'DOUBLE KNOCKOUT'          |
| RGB                     | ROSY GLOW BARBERRY               |
| RSA                     | RUSSIAN SAGE                     |
| SW                      | SPIREA, 'ANTHONY WATERER'        |
| RW                      | WHITE MEIDLAND ROSE              |
| AG                      | 'AUTUMN BRILLIANCE' SERVICEBERRY |
| <b>EVERGREEN SHRUBS</b> | <b>COMMON NAME</b>               |
| JUA                     | ARCADIA JUNIPER                  |
| SCJ                     | SCANDIA JUNIPER                  |
| <b>GRASSES</b>          | <b>COMMON NAME</b>               |
| MSA                     | ADAGIO EULALIA GRASS             |
| PMG                     | AUTUMN RED FLAME GRASS           |
| BOG                     | BLUE OAT GRASS                   |
| DMG                     | DWARF MAIDEN GRASS               |
| FRG                     | FEATHER REED GRASS               |
| PG                      | FOUNTAIN GRASS                   |
| PH                      | HEAVY METAL SWITCH GRASS         |
| MG                      | MISCANTHUS 'GOLD BAR'            |
| POG                     | PORCUPINE GRASS                  |
| RVG                     | RAVENNA GRASS                    |
| <b>PERENNIALS</b>       | <b>COMMON NAME</b>               |
| CJ                      | JUPITER'S BEARD                  |
| DAY                     | STELLA DE ORO DAYLILY            |
| <b>MULCH</b>            | <b>COMMON NAME</b>               |
| [Symbol]                | FIBAR MULCH                      |
| [Symbol]                | ROCK MULCH, 1.5"-3" DIA          |
| [Symbol]                | WOOD MULCH                       |
| <b>SEED</b>             | <b>COMMON NAME</b>               |
| [Symbol]                | DRYLAND SEED MIX - NON-IRRIG     |
| [Symbol]                | WETLAND SEED MIX - NON-IRRIG     |
| <b>SOD</b>              | <b>COMMON NAME</b>               |
| [Symbol]                | IRRIG. TURF, 'ENVIROTURF'        |



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*Pomponio*  
TERRACE

FINAL DEVELOPMENT PLAN  
**POMPONIO TERRACE FILINGS 1 & 2**  
ADAMS COUNTY, CO 80030  
**LANDSCAPE PLAN**

PROJECT NO: PHT004.01  
DESIGNED BY: PCS GROUP  
DRAWN BY: JI  
DATE: 08/11/16

**L1.5**

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PLANT / GROUNDCOVER LIST

DECIDUOUS TREES	COMMON NAME
HAC	COMMON HACKBERRY
DNM	DEBORAH MAPLE
ARM	FREEMAN MAPLE
GL	GREENSPIRE LITTLELEAF LINDEN
GI	IMPERIAL HONEYLOCUST
QR	RED OAK
RSM	RED SUNSET MAPLE
GS	SHADEMASTER LOCUST
QB	SWAMP WHITE OAK

EVERGREEN TREES	COMMON NAME
PN-6HT	AUSTRIAN BLACK PINE
PN-8HT	AUSTRIAN BLACK PINE
BP-8HT	BOSNIAN PINE
PCG-6HT	COMPACT UPRIGHT BOSNIAN PINE
VP-6HT	VANDERWOLF'S PYRAMID PINE
WBJ-6HT	WICHITA BLUE JUNIPER

ORNAMENTAL TREES	COMMON NAME
CCP	CAPITAL CALLERY PEAR
ACM	COMPACT AMUR MAPLE
CSM	CRIMSON SENTRY MAPLE

DECIDUOUS SHRUBS	COMMON NAME
BSP	COMMON BLUEBEARD SPIREA
CBB	COMPACT BURNING BUSH
CC	CORAL BEAUTY COTONEASTER
DNB	DIABLO NINEBARK
PL	DWARF NINEBARK
FMR	FIRE MEIDLAND ROSE
GC	GOLDEN CURRANT
GFP	GOLDFINGER POTENTILLA
RHU	GRO-LOW FRAGRANT SUMAC
KV	KOREAN SPICE VIBURNUM
MKL	MISS KIM LILAC
VL	MOHICAN WAYFARING TREE
NMP	NEW MEXICO PRIVET
DGN	NINEBARK, 'DART'S GOLD'
PLS	PURPLE LEAF SAND CHERRY
RB	RABBITBRUSH
DKR	ROSE, 'DOUBLE KNOCKOUT'
RGB	ROSY GLOW BARBERRY
RSA	RUSSIAN SAGE
SW	SPIREA, 'ANTHONY WATERER'
RW	WHITE MEIDLAND ROSE
AG	'AUTUMN BRILLIANCE' SERVICEBERRY

EVERGREEN SHRUBS	COMMON NAME
JUA	ARCADIA JUNIPER
SCJ	SCANDIA JUNIPER

GRASSES	COMMON NAME
MSA	ADAGIO EULALIA GRASS
PMG	AUTUMN RED FLAME GRASS
BOG	BLUE OAT GRASS
DMG	DWARF MAIDEN GRASS
FRG	FEATHER REED GRASS
PG	FOUNTAIN GRASS
PH	HEAVY METAL SWITCH GRASS
MG	MISCANTHUS 'GOLD BAR'
POG	PORCUPINE GRASS
RVG	RAVENNA GRASS

PERENNIALS	COMMON NAME
CJ	JUPITER'S BEARD
DAY	STELLA DE ORO DAYLILY

MULCH	COMMON NAME
[Symbol]	FIBAR MULCH
[Symbol]	ROCK MULCH, 1.5"-3" DIA
[Symbol]	WOOD MULCH

SEED	COMMON NAME
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[Symbol]	WETLAND SEED MIX - NON-IRRIG

SOD	COMMON NAME
[Symbol]	IRRIG. TURF, 'ENVIROTURF'

COMMON NAME	
[Symbol]	IRRIG. TURF

COMMON NAME	
[Symbol]	IRRIG. TURF

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COMMON NAME	
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[Symbol]	IRRIG. TURF

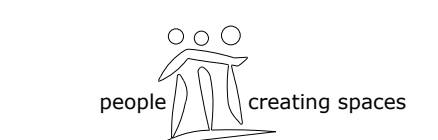
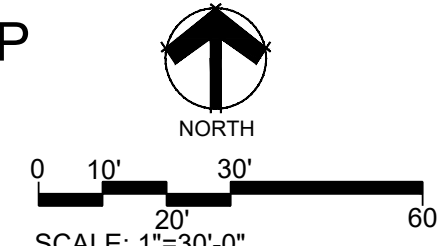
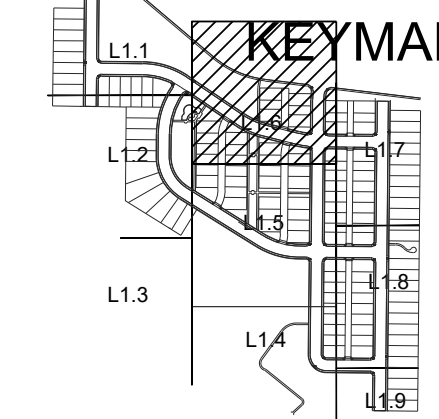
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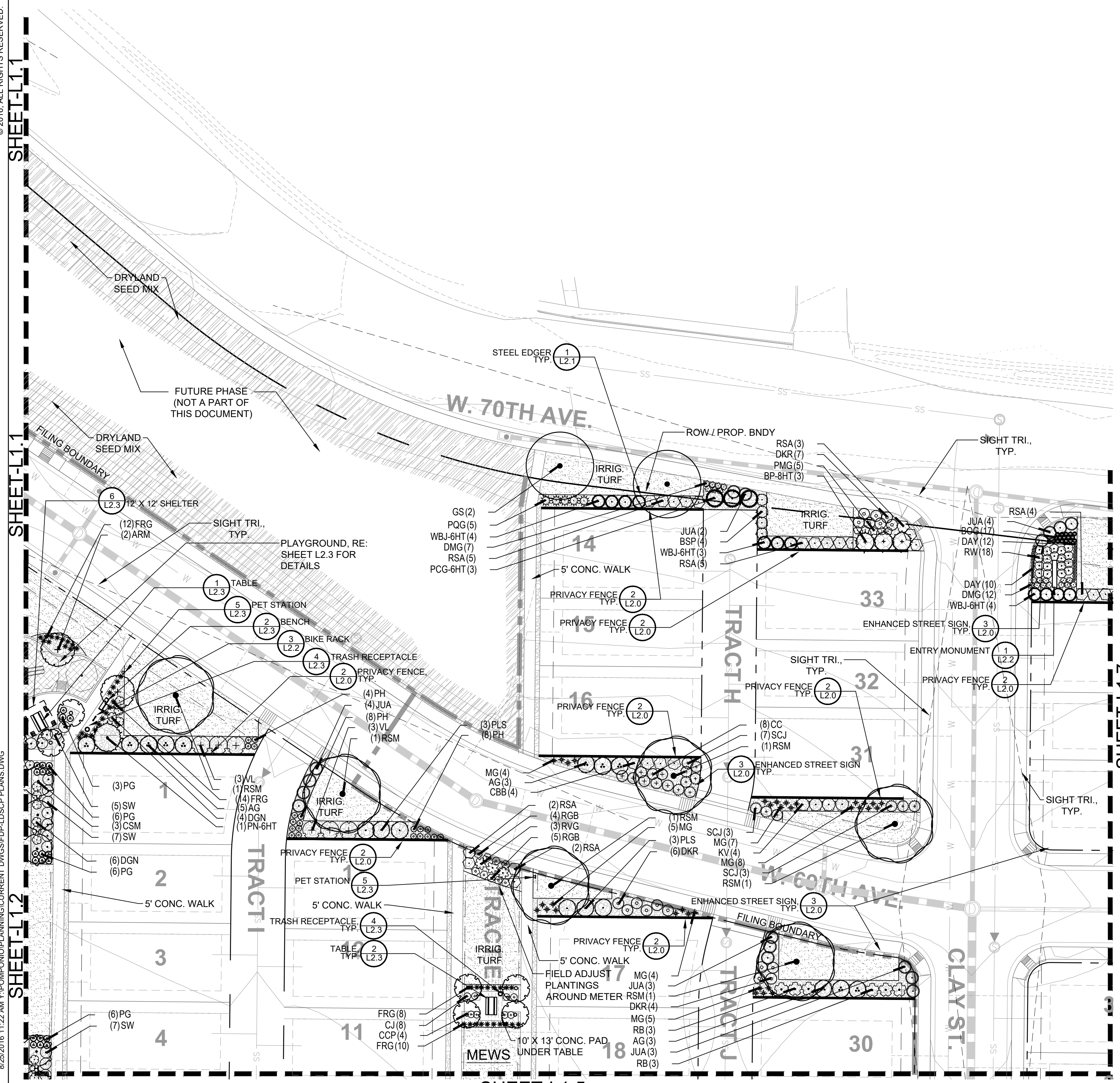
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FINAL DEVELOPMENT PLAN  
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ADAMS COUNTY, CO 80030  
**LANDSCAPE PLAN**

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**L1.6**



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SHEET-L1.1

SHEET-L1.2

SHEET-L1.5

SHEET-L1.7

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WBJ-6HT	WICHITA BLUE JUNIPER

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RGB	ROSY GLOW BARBERRY
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MG	MISCANTHUS 'GOLD BAR'
POG	PORCUPINE GRASS
RVG	RAVENNA GRASS

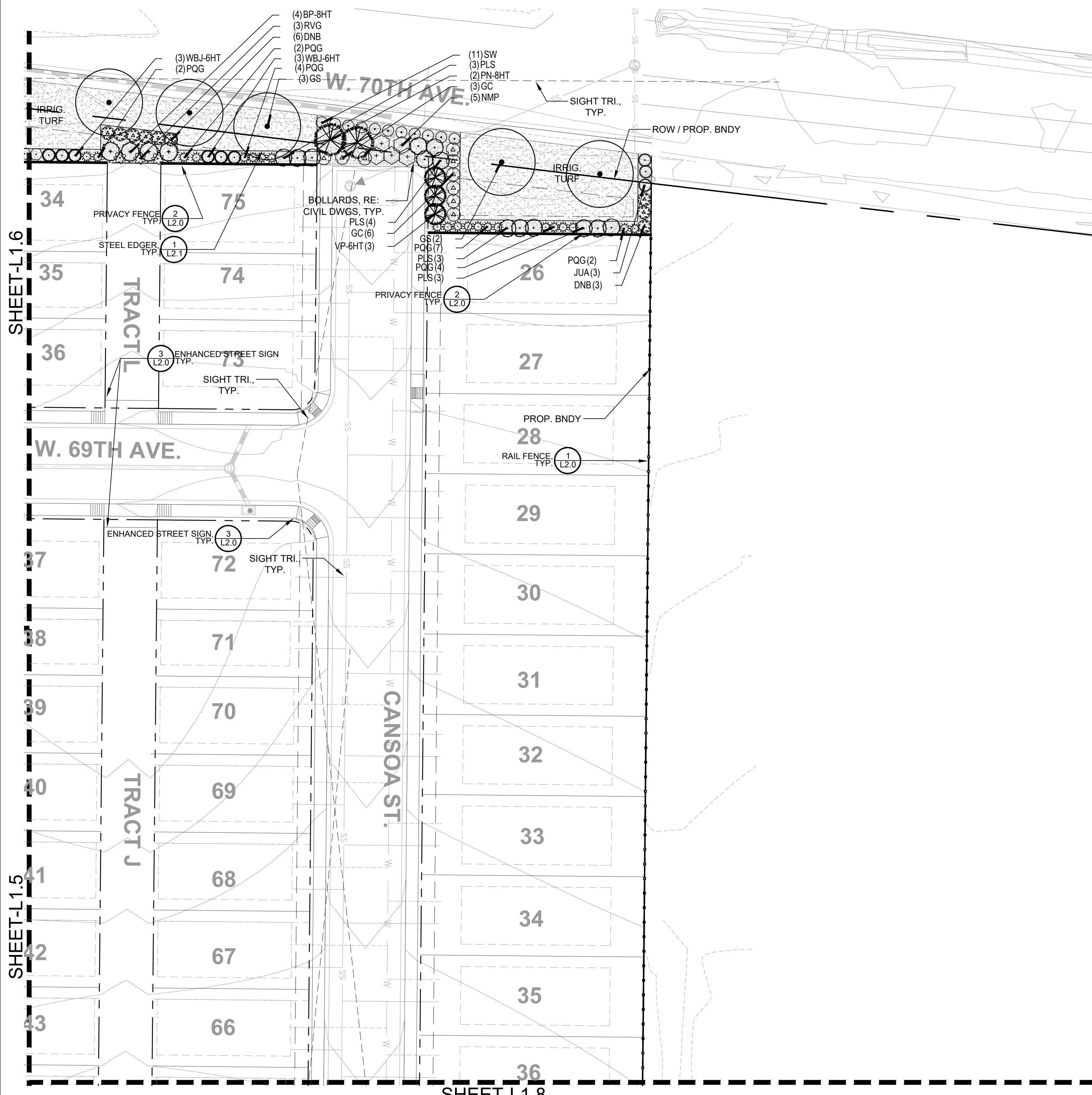
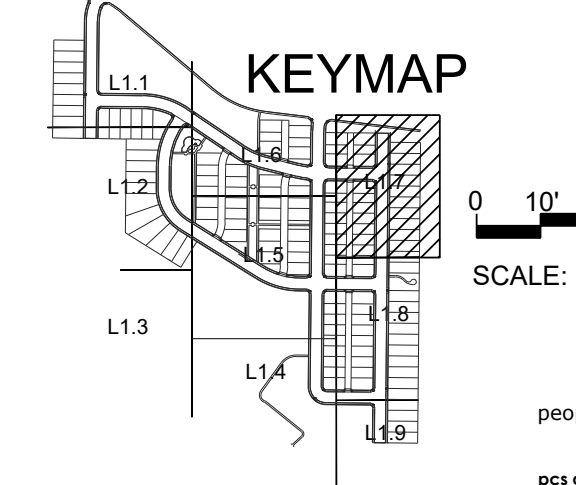
PERENNIALS	COMMON NAME
CJ	JUPITER'S BEARD
DAY	STELLA DE ORO DAYLILY

MULCH	COMMON NAME
[Symbol]	FIBAR MULCH
[Symbol]	ROCK MULCH, 1.5"-3" DIA
[Symbol]	WOOD MULCH

SEED	COMMON NAME
[Symbol]	DRYLAND SEED MIX - NON-IRRIG
[Symbol]	WETLAND SEED MIX - NON-IRRIG

SOD	COMMON NAME
[Symbol]	IRRIG. TURF, 'ENVIROTURF'

MULCH	COMMON NAME
[Symbol]	IRRIG. TURF, 'ENVIROTURF'



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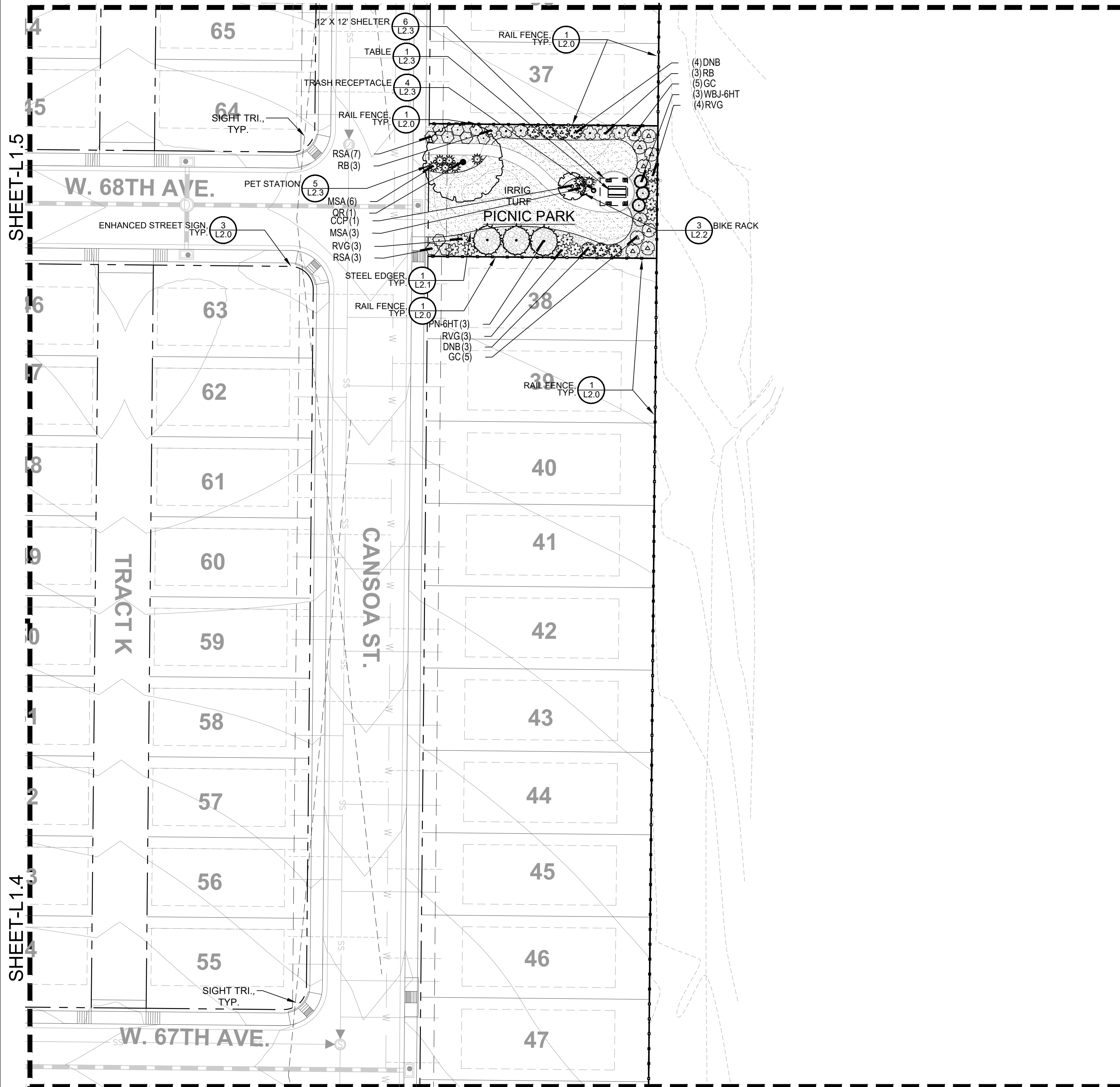
**L1.7**

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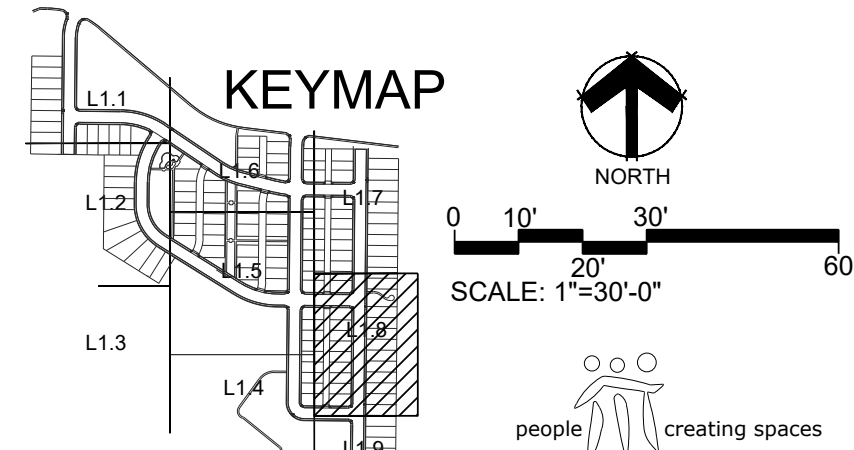


SHEET-L1.7



PLANT / GROUNDCOVER LIST

- |                         |                                  |
|-------------------------|----------------------------------|
| <b>DECIDUOUS TREES</b>  | <b>COMMON NAME</b>               |
| HAC                     | COMMON HACKBERRY                 |
| DNM                     | DEBORAH MAPLE                    |
| ARM                     | FREEMAN MAPLE                    |
| GL                      | GREENSPIRE LITTLELEAF LINDEN     |
| GI                      | IMPERIAL HONEYLOCUST             |
| QR                      | RED OAK                          |
| RSM                     | RED SUNSET MAPLE                 |
| GS                      | SHADEMASTER LOCUST               |
| QB                      | SWAMP WHITE OAK                  |
| <b>EVERGREEN TREES</b>  | <b>COMMON NAME</b>               |
| PN-6HT                  | AUSTRIAN BLACK PINE              |
| PN-8HT                  | AUSTRIAN BLACK PINE              |
| BP-8HT                  | BOSNIAN PINE                     |
| PCG-6HT                 | COMPACT UPRIGHT BOSNIAN PINE     |
| VP-6HT                  | VANDERWOLF'S PYRAMID PINE        |
| WBJ-6HT                 | WICHITA BLUE JUNIPER             |
| <b>ORNAMENTAL TREES</b> | <b>COMMON NAME</b>               |
| CCP                     | CAPITAL CALLERY PEAR             |
| ACM                     | COMPACT AMUR MAPLE               |
| CSM                     | CRIMSON SENTRY MAPLE             |
| <b>DECIDUOUS SHRUBS</b> | <b>COMMON NAME</b>               |
| BSP                     | COMMON BLUEBEARD SPIREA          |
| CBB                     | COMPACT BURNING BUSH             |
| CC                      | CORAL BEAUTY COTONEASTER         |
| DNB                     | DIABLO NINEBARK                  |
| PL                      | DWARF NINEBARK                   |
| FMR                     | FIRE MEIDLAND ROSE               |
| GC                      | GOLDEN CURRANT                   |
| GFP                     | GOLDFINGER POTENTILLA            |
| RHU                     | GRO-LOW FRAGRANT SUMAC           |
| KV                      | KOREAN SPICE VIBURNUM            |
| MKL                     | MISS KIM LILAC                   |
| VL                      | MOHICAN WAYFARING TREE           |
| NMP                     | NEW MEXICO PRIVET                |
| DGN                     | NINEBARK, 'DART'S GOLD'          |
| PLS                     | PURPLE LEAF SAND CHERRY          |
| RB                      | RABBITBRUSH                      |
| DKR                     | ROSE, 'DOUBLE KNOCKOUT           |
| RGB                     | ROSY GLOW BARBERRY               |
| RSA                     | RUSSIAN SAGE                     |
| SW                      | SPIREA, 'ANTHONY WATERER'        |
| RW                      | WHITE MEIDLAND ROSE              |
| AG                      | 'AUTUMN BRILLIANCE' SERVICEBERRY |
| <b>EVERGREEN SHRUBS</b> | <b>COMMON NAME</b>               |
| JUA                     | ARCADIA JUNIPER                  |
| SCJ                     | SCANDIA JUNIPER                  |
| <b>GRASSES</b>          | <b>COMMON NAME</b>               |
| MSA                     | ADAGIO EULALIA GRASS             |
| PMG                     | AUTUMN RED FLAME GRASS           |
| BOG                     | BLUE OAT GRASS                   |
| DMG                     | DWARF MAIDEN GRASS               |
| FRG                     | FEATHER REED GRASS               |
| PG                      | FOUNTAIN GRASS                   |
| PH                      | HEAVY METAL SWITCH GRASS         |
| MG                      | MISCANTHUS 'GOLD BAR'            |
| POG                     | PORCUPINE GRASS                  |
| RVG                     | RAVENNA GRASS                    |
| <b>PERENNIALS</b>       | <b>COMMON NAME</b>               |
| CJ                      | JUPITER'S BEARD                  |
| DAY                     | STELLA DE ORO DAYLILY            |
| <b>MULCH</b>            | <b>COMMON NAME</b>               |
| [Symbol]                | FIBAR MULCH                      |
| [Symbol]                | ROCK MULCH, 1.5"-3" DIA          |
| [Symbol]                | WOOD MULCH                       |
| <b>SEED</b>             | <b>COMMON NAME</b>               |
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| <b>SOD</b>              | <b>COMMON NAME</b>               |
| [Symbol]                | IRRIG. TURF, 'ENVIROTURF'        |



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**LANDSCAPE PLAN**

PROJECT NO: PHT004.01  
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**L1.8**

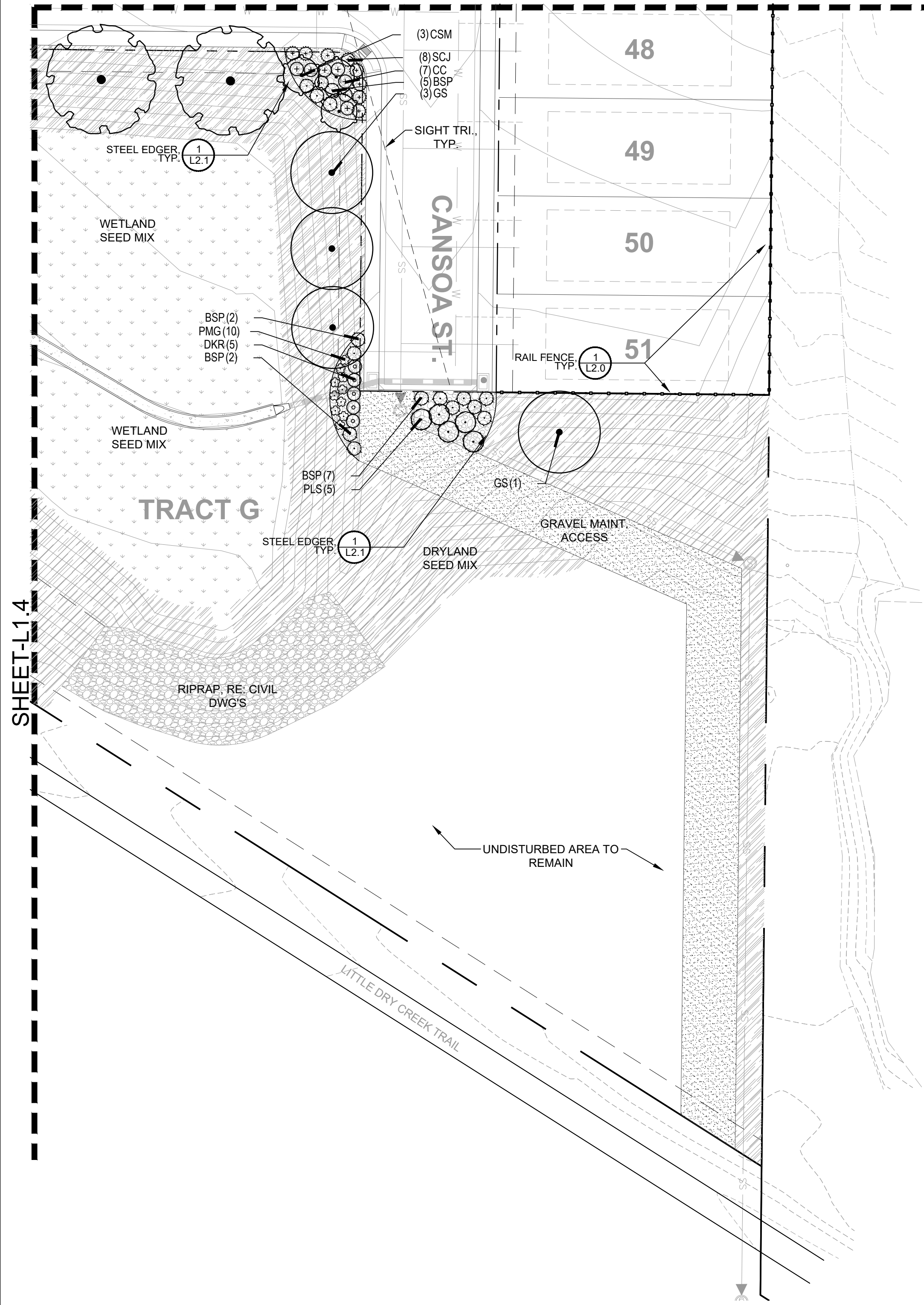
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PLANT / GROUNDCOVER LIST

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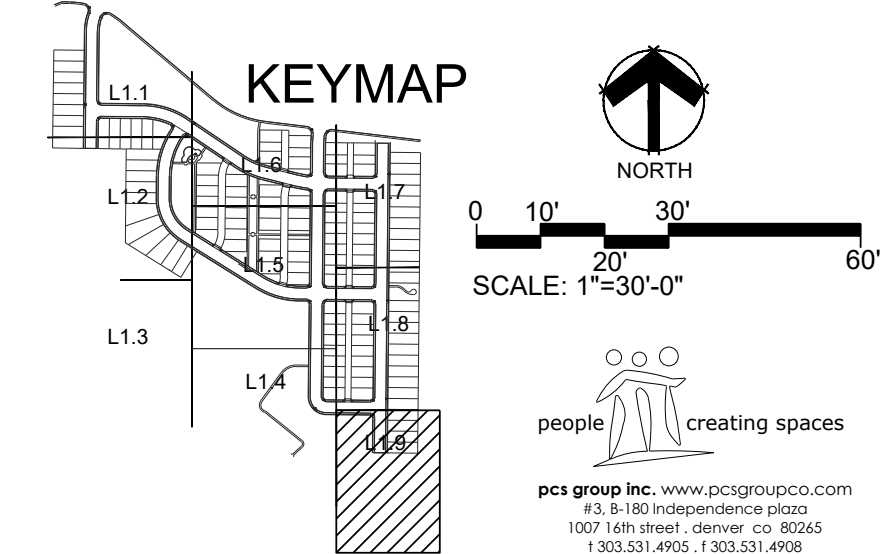
GRASSES	COMMON NAME
MSA	ADAGIO EULALIA GRASS
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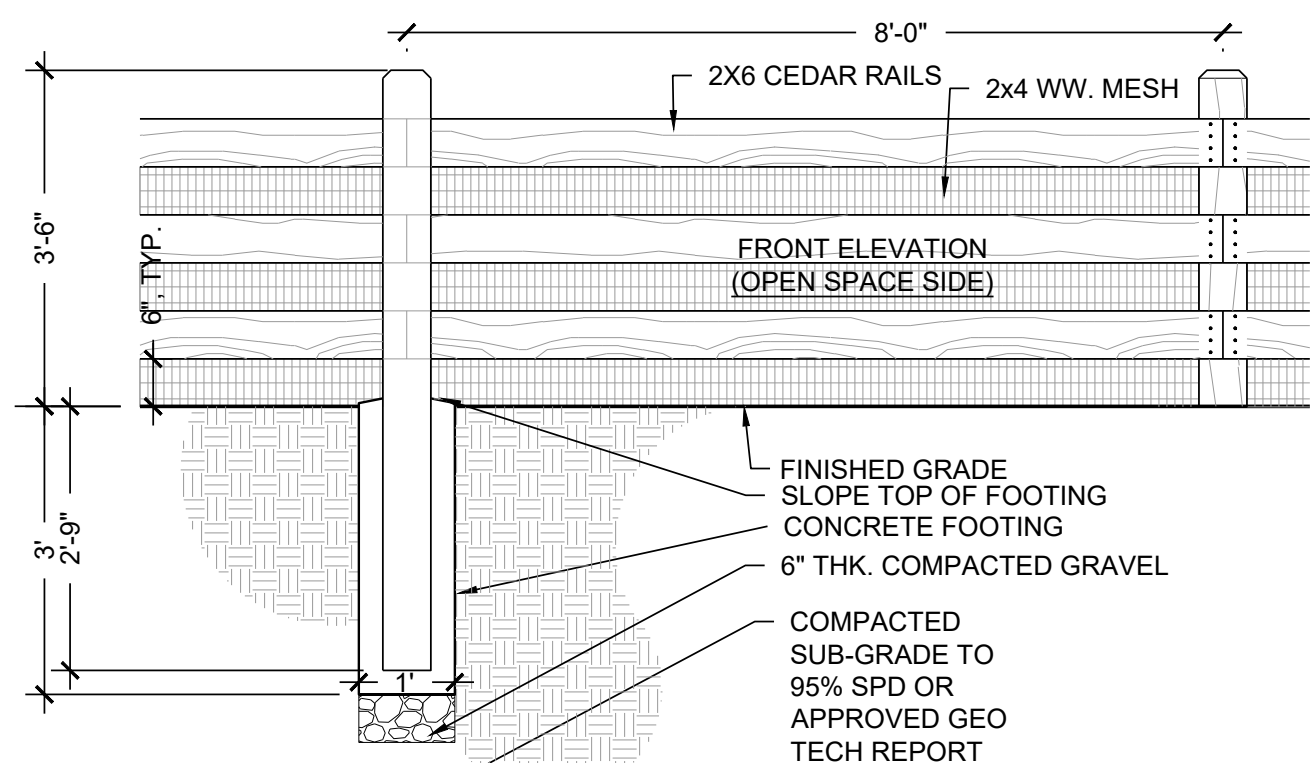
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**L1.9**

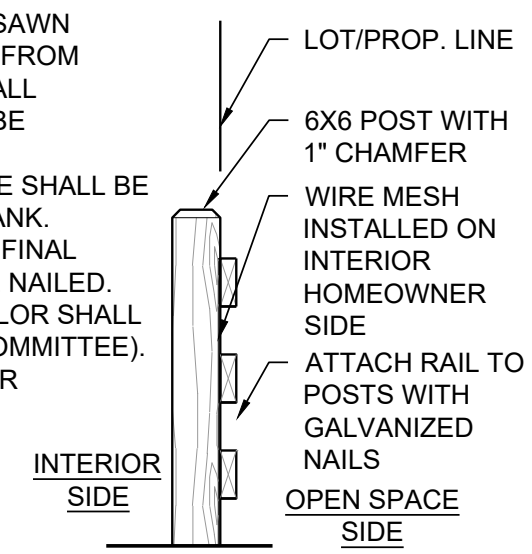
people creating spaces  
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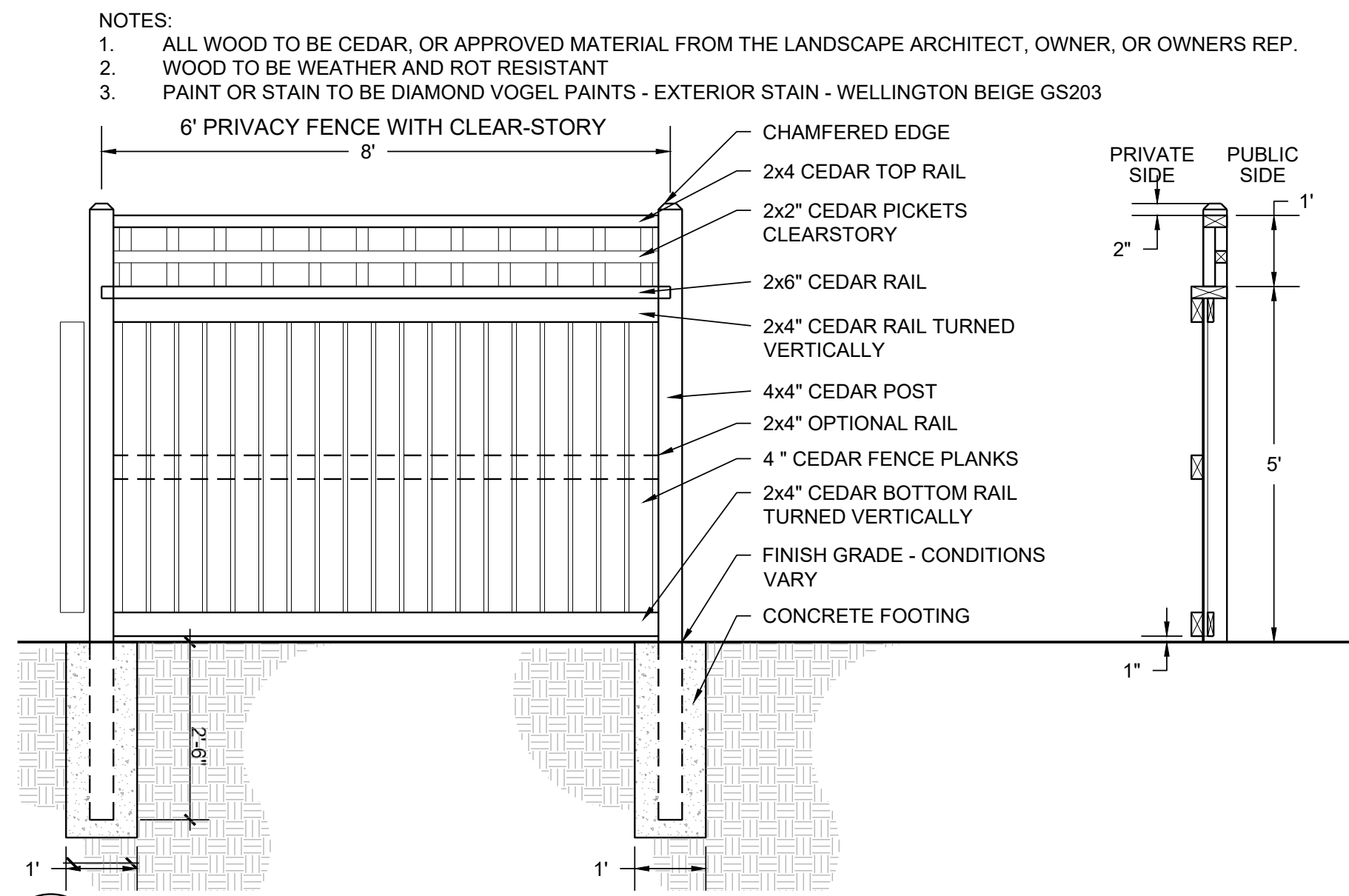


- NOTES:
1. ALL LUMBER SHALL BE NO. 1 SELECT, ROUGH SAWN CEDAR AND SHALL BE SOLID, STRAIGHT, FREE FROM KNOTS, SPLITS, SHAKES OR DISCOLORATION. ALL CHAMFERED EDGES & ROUTED AREAS SHALL BE UNIFORM AND FROM FROM SAW MARKS.
  2. ALL NAILS, FASTENERS AND OTHER HARDWARE SHALL BE HOT DIPPED GALVANIZED. NAILS SHALL BE SHANK. POSTS SHALL BE SECURELY BRACED IN THEIR FINAL POSITION A MIN. 24 HRS. BEFORE BOARDS ARE NAILED.
  3. ALL EXPOSED LUMBER SHALL BE STAINED. COLOR SHALL BE APPROVED BY HOA (OR ARCH. CONTROL COMMITTEE). CONTRACTOR TO SUBMIT COLOR SAMPLES FOR APPROVAL.



1 RAIL FENCE

NOT TO SCALE



2 PRIVACY FENCE

NOT TO SCALE



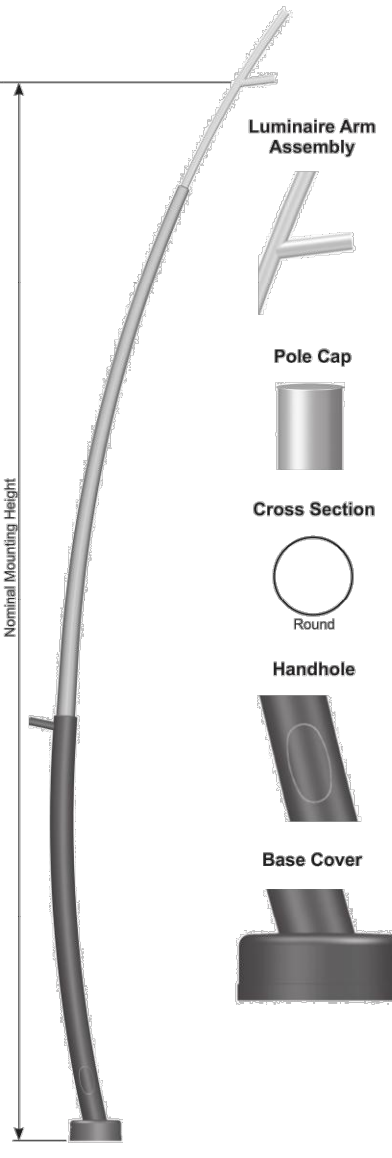
ROUND TAPERED ALUMINUM Idlyline Curve

Job Name: \_\_\_\_\_ Client Name: \_\_\_\_\_  
 Job Location - City: \_\_\_\_\_ State: \_\_\_\_\_ Created By: \_\_\_\_\_ Date: \_\_\_\_\_  
 Product: \_\_\_\_\_ Quote: \_\_\_\_\_ Customer Approval: \_\_\_\_\_ Date: \_\_\_\_\_

SPECIFICATIONS

- Pole** - The pole shaft is spun from seamless alloy aluminum.
- Luminaire Arm Assembly** - Provided with 2.38" OD tenons for slip fit luminaires. Poles available with (as shown) or without the mid-level luminaire mounting arrangement.
- Handhole** - A covered handhole and grounding provision with hardware is provided.
- Base Cover** - The Dart clamshell base cover is cast from high quality aluminum.
- Anchor Bolts** - Anchor bolts conform to ASTM F1554 Grade 55 and are provided with two hex nuts and two flat washers. Bolts have an "L" bend on one end and are galvanized a minimum of 12" on the threaded end.
- Finish** - The standard finish for the final pole assembly and components is polyester powder applied coating in accordance with Valmont's Specifications. Additional finish options available upon request.
- Design Criteria** - Please reference Design Criteria Specification for appropriate design conditions.

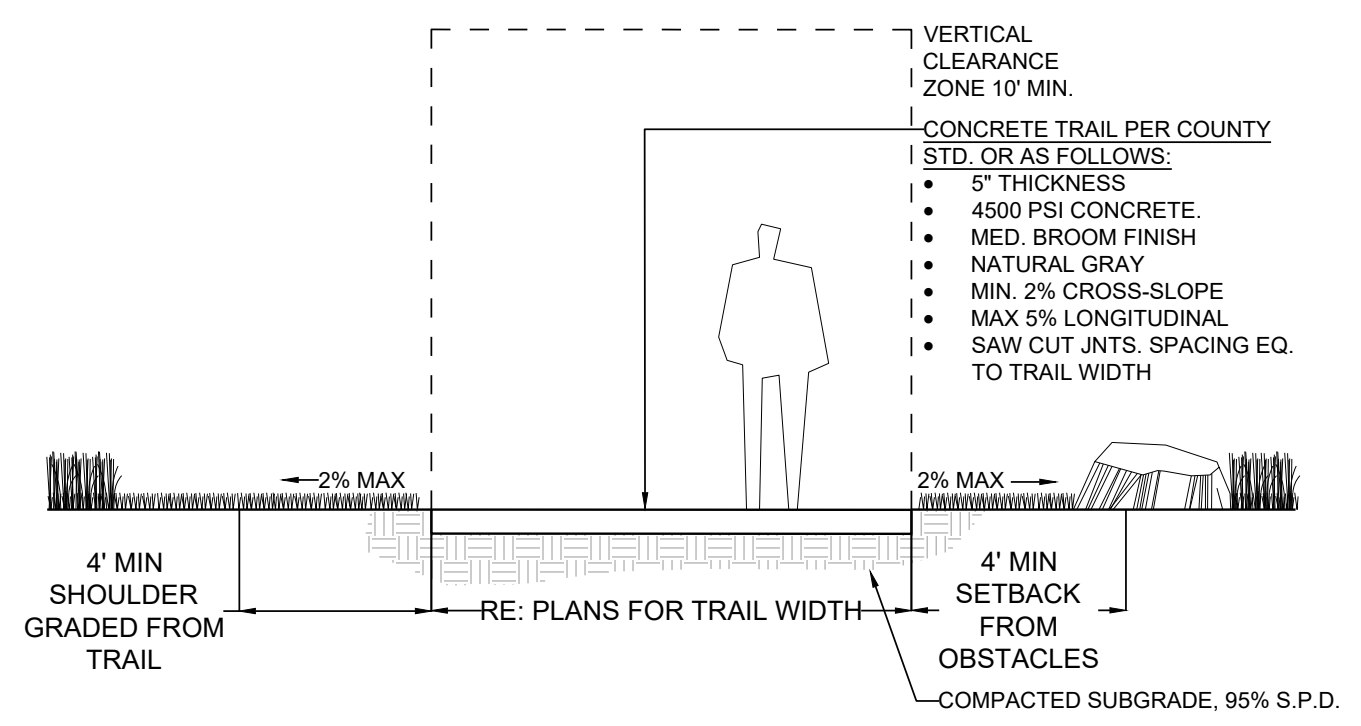
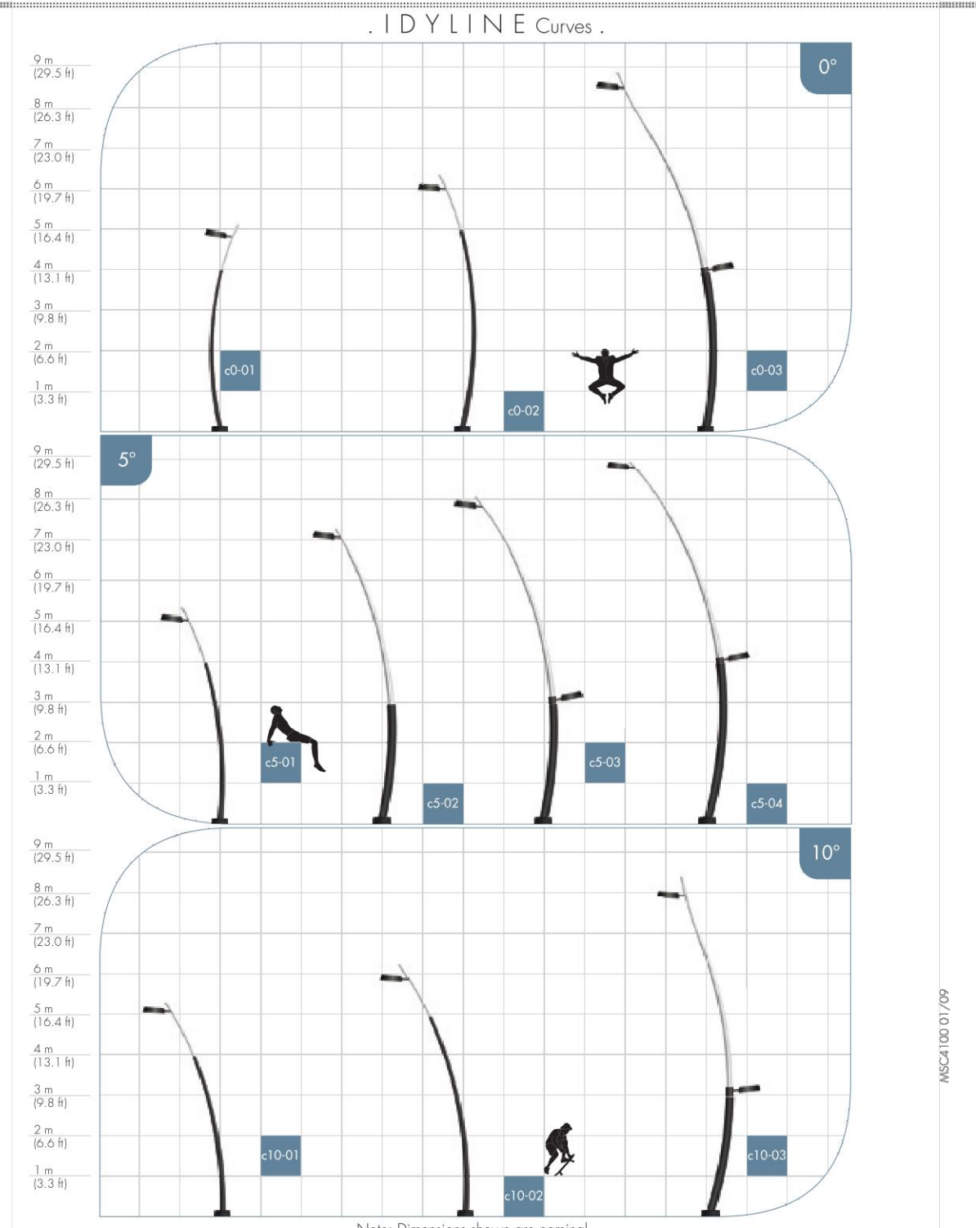
- NOTES:
1. LIGHT POLES ARE SHOWN TO ILLUSTRATE DESIGN INTENT AND ARE SUBJECT TO CHANGE PENDING COUNTY APPROVAL AND PERMITTING.



3 STREET LIGHT

NOT TO SCALE

Model Selection Guide



4 CONCRETE TRAIL

NOT TO SCALE

DESIGN IS TYPICAL. SPECIFIED EQUIPMENT AND MATERIALS MAY BE SUBJECT TO CHANGE.



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FINAL DEVELOPMENT PLAN

POMPONIO TERRACE FILINGS 1 & 2

ADAMS COUNTY, CO 80030

SITE & LANDSCAPE DETAILS

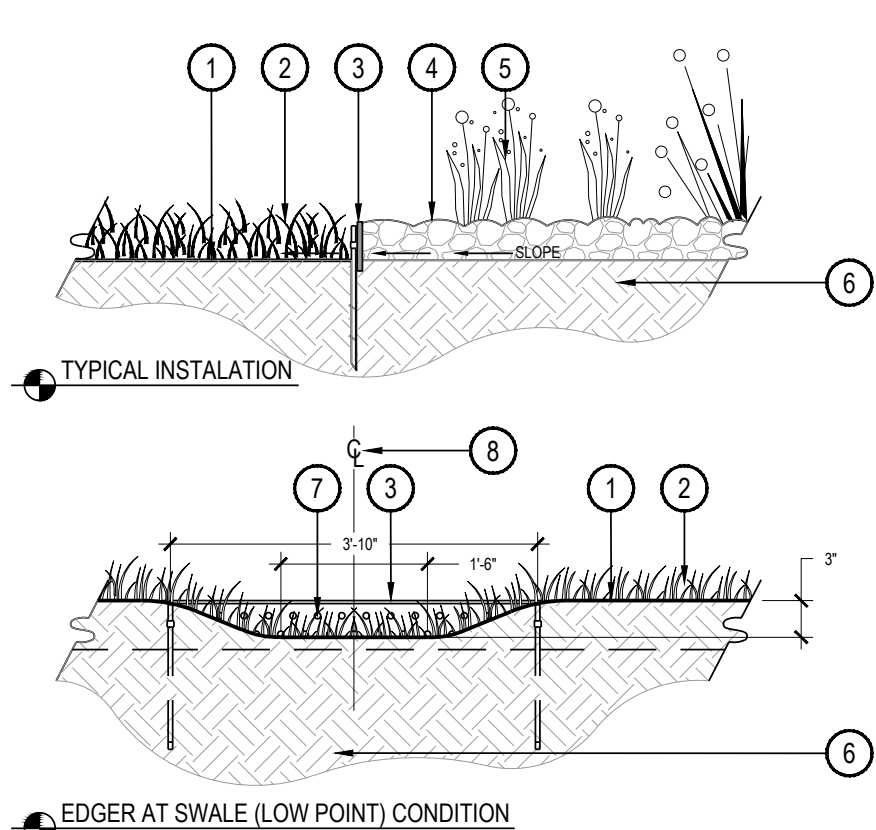
PROJECT NO: PHT004.01  
 DESIGNED BY: PCS GROUP  
 DRAWN BY: JI  
 DATE: 08/11/16

L2.0



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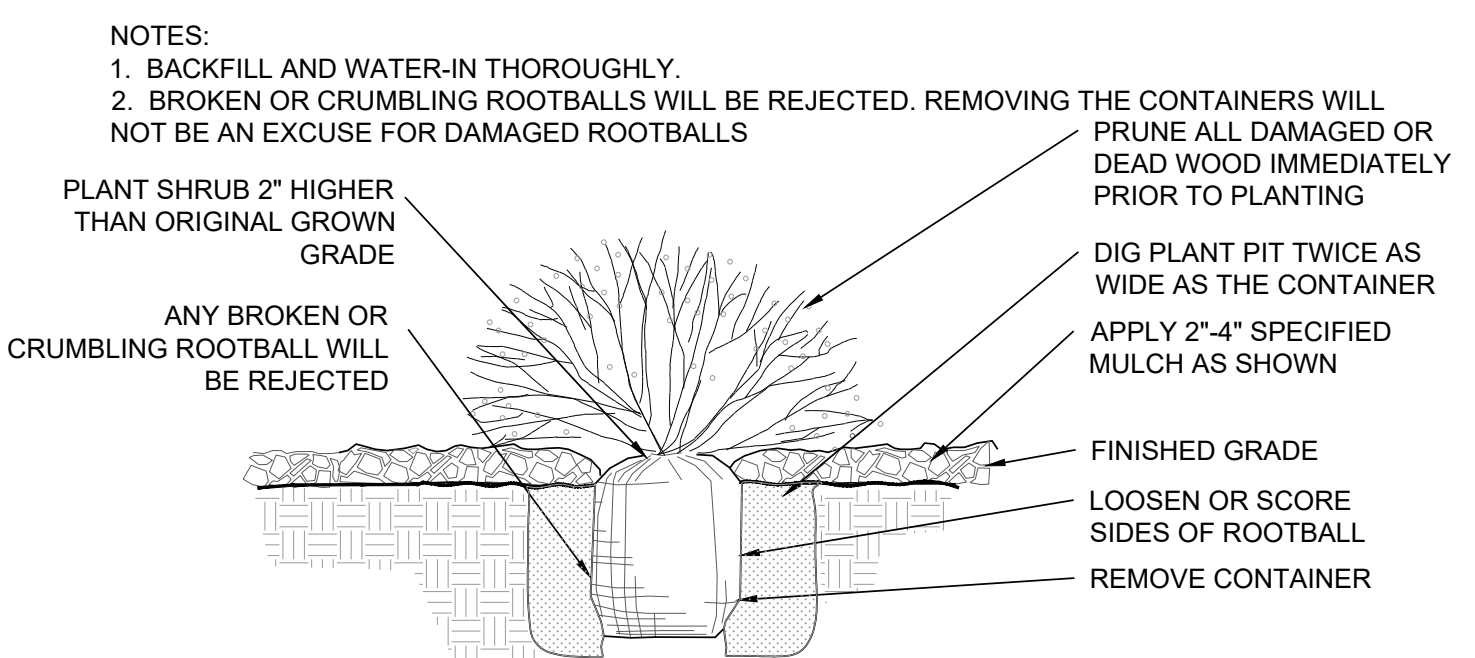
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- 1 FINISH GRADE PER CIVIL OR GRADING PLANS
- 2 TURF OR UPLAND GRASSES
- 3 PERFORATED METAL EDGER-INSTALL PER MANUFACTURERS RECOMMENDATIONS (STAKES SHALL BE TOWARDS MULCH)
- 4 MULCH
- 5 PLANT MATERIAL (RE: PLANS)
- 6 SUBGRADE-MINIMUM 2% SLOPE TO ACHIEVE POSITIVE DRAINAGE PER CIVIL OR GRADING PLANS
- 7 PERFORATED EDGER ALONG LOW SEGMENT. PERFORATIONS SHALL BE EQUALLY SPACED IN A PATTERN AND SIZE TO ALLOW FREE DRAINAGE THROUGH EDGER. STANDING WATER SHALL DRAIN WITHIN 8 HOURS FOLLOWING AN EVENT.
- 8 DRAINAGE SWALE PER CIVIL OR GRADING PLANS

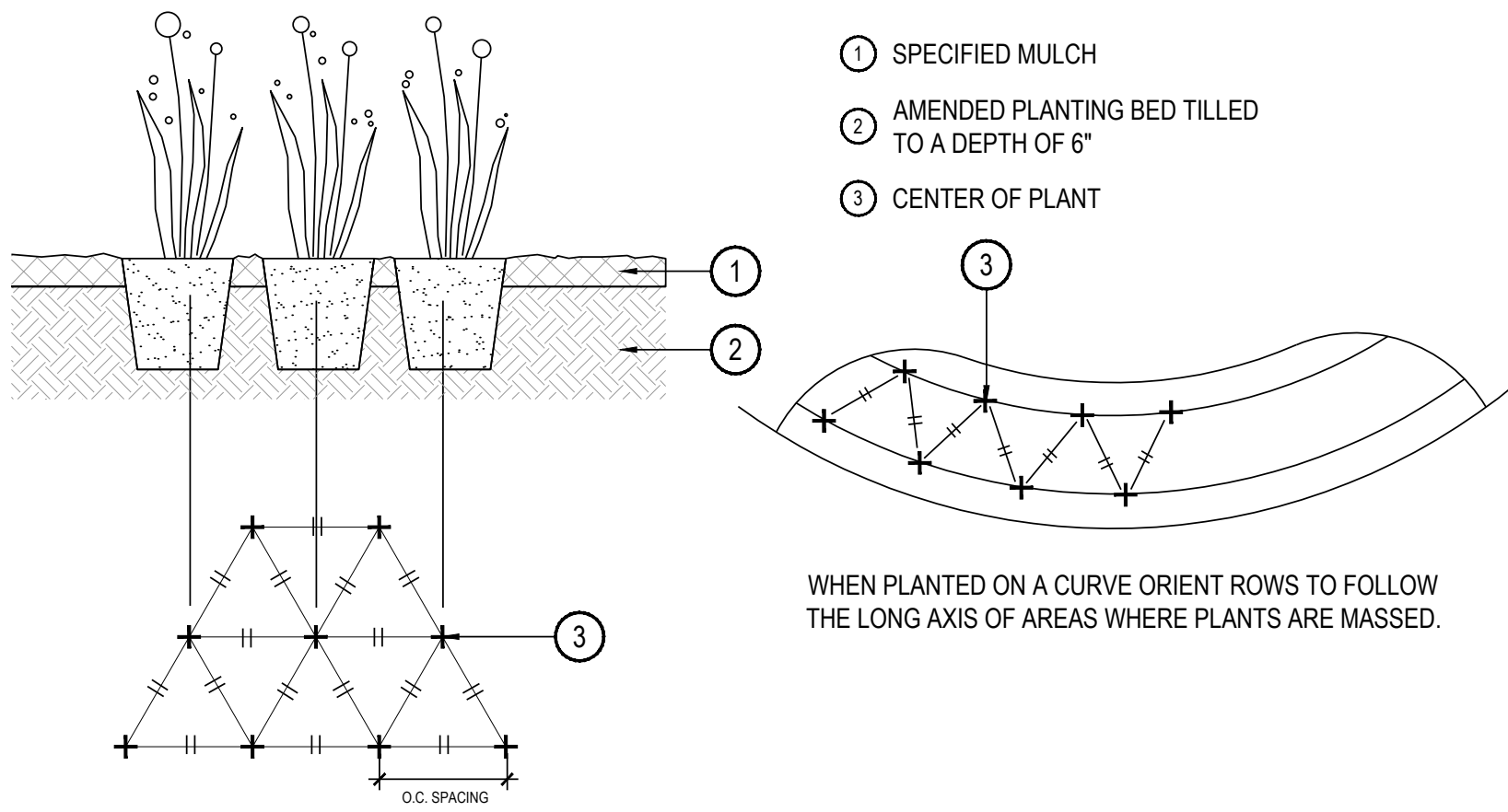
**1 STEEL EDGER**

NOT TO SCALE



**2 SHRUB PLANTING**

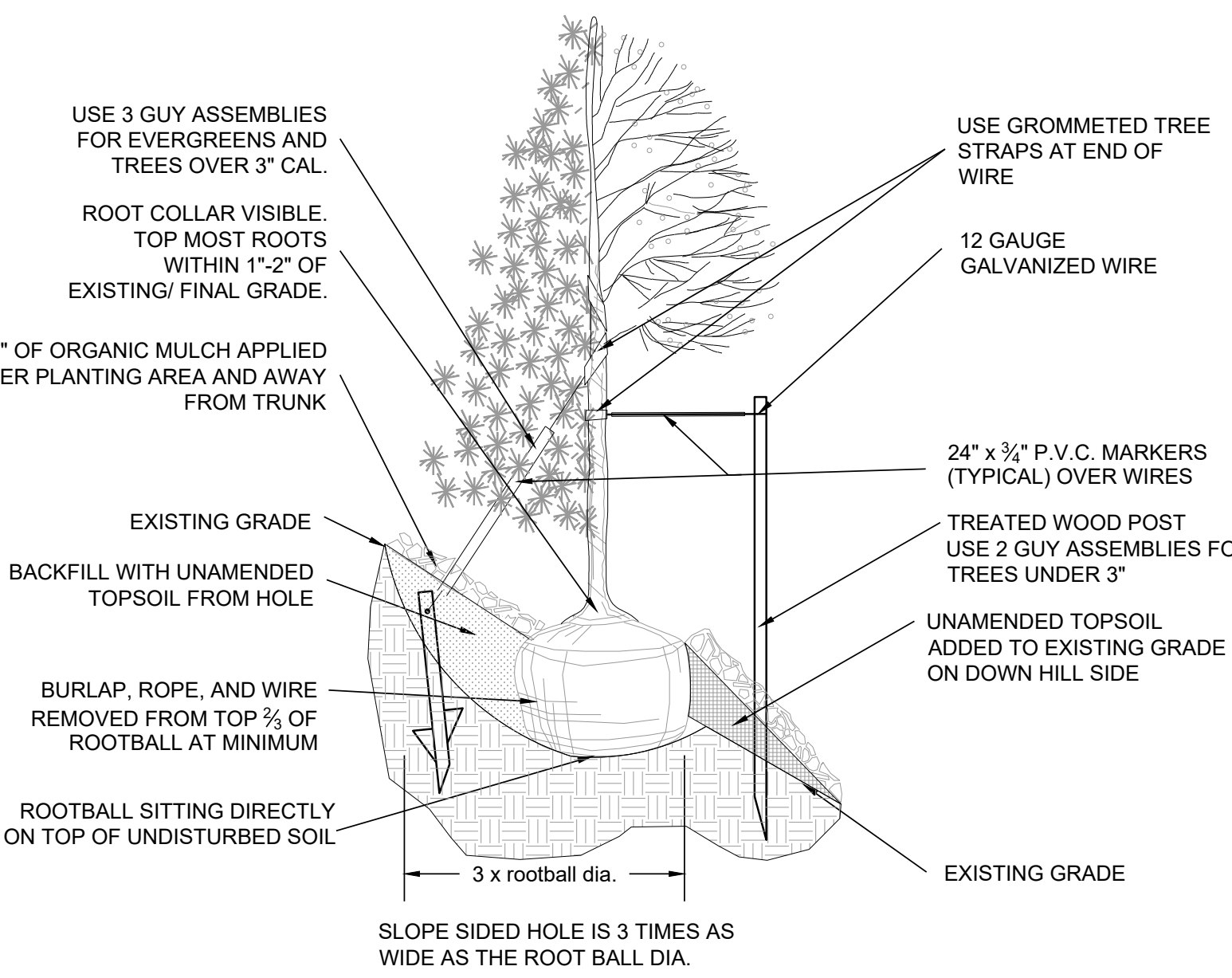
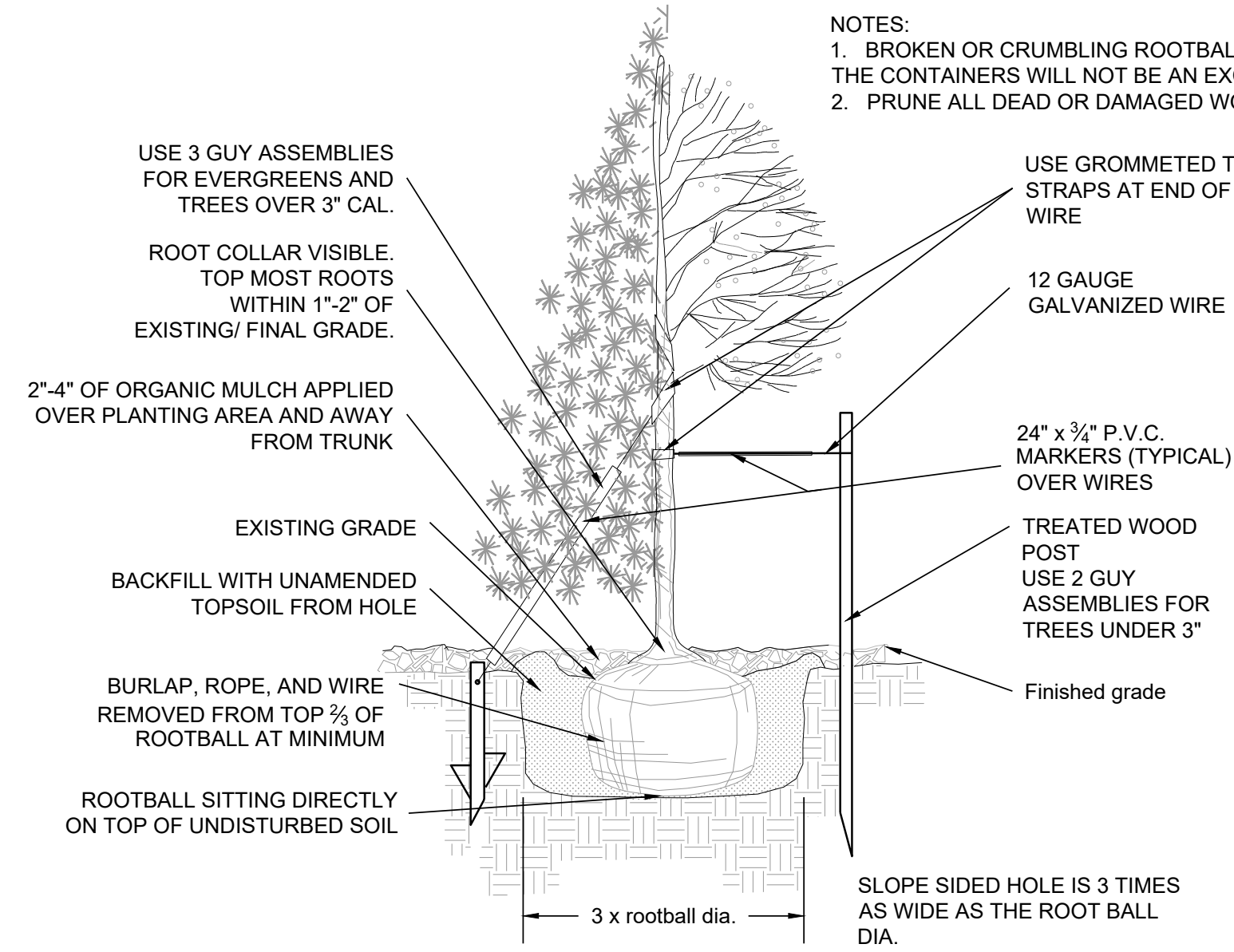
NOT TO SCALE



- 1 SPECIFIED MULCH
- 2 AMENDED PLANTING BED TILLED TO A DEPTH OF 6"
- 3 CENTER OF PLANT

**3 PERENNIAL PLANTING**

NOT TO SCALE



- USE 3 GUY ASSEMBLIES FOR EVERGREENS AND TREES OVER 3" CAL.
- ROOT COLLAR VISIBLE. TOP MOST ROOTS WITHIN 1"-2" OF EXISTING/ FINAL GRADE.
- 2"-4" OF ORGANIC MULCH APPLIED OVER PLANTING AREA AND AWAY FROM TRUNK
- EXISTING GRADE
- BACKFILL WITH UNAMENDED TOPSOIL FROM HOLE
- BURLAP, ROPE, AND WIRE REMOVED FROM TOP 2/3 OF ROOTBALL AT MINIMUM
- ROOTBALL SITTING DIRECTLY ON TOP OF UNDISTURBED SOIL
- USE GROMMETED TREE STRAPS AT END OF WIRE
- 12 GAUGE GALVANIZED WIRE
- 24" x 3/4" P.V.C. MARKERS (TYPICAL) OVER WIRES
- TREATED WOOD POST USE 2 GUY ASSEMBLIES FOR TREES UNDER 3"
- Finished grade
- SLOPE SIDED HOLE IS 3 TIMES AS WIDE AS THE ROOT BALL DIA.
- 3 x rootball dia.

- USE 3 GUY ASSEMBLIES FOR EVERGREENS AND TREES OVER 3" CAL.
- ROOT COLLAR VISIBLE. TOP MOST ROOTS WITHIN 1"-2" OF EXISTING/ FINAL GRADE.
- 1" OF ORGANIC MULCH APPLIED OVER PLANTING AREA AND AWAY FROM TRUNK
- EXISTING GRADE
- BACKFILL WITH UNAMENDED TOPSOIL FROM HOLE
- BURLAP, ROPE, AND WIRE REMOVED FROM TOP 2/3 OF ROOTBALL AT MINIMUM
- ROOTBALL SITTING DIRECTLY ON TOP OF UNDISTURBED SOIL
- USE GROMMETED TREE STRAPS AT END OF WIRE
- 12 GAUGE GALVANIZED WIRE
- 24" x 3/4" P.V.C. MARKERS (TYPICAL) OVER WIRES
- TREATED WOOD POST USE 2 GUY ASSEMBLIES FOR TREES UNDER 3"
- UNAMENDED TOPSOIL ADDED TO EXISTING GRADE ON DOWN HILL SIDE
- EXISTING GRADE
- SLOPE SIDED HOLE IS 3 TIMES AS WIDE AS THE ROOT BALL DIA.
- 3 x rootball dia.

**4 TREE PLANTING**

NOT TO SCALE

- NOTES:
1. BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED. REMOVING THE CONTAINERS WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.
  2. PRUNE ALL DEAD OR DAMAGED WOOD AFTER PLANTING.

- NOTES:
1. ALL WORK TO BE DONE AT TIME OF PLANTING
  2. PEEL BACK ONLY TOP OF BURLAP REQUIRED TO PERFORM WORK. REPLACE BURLAP BEFORE MOVING TREE INTO PLANTING PIT. DO NOT REMOVE WIRE BASKET UNTIL INSIDE PLANTING PIT.
  3. MEASURE NEW HEIGHT OF ROOTBALL AND DIG PLANTING PIT SO FINAL TOP ROOTBALL GRADE IS 3" ABOVE FINAL GRADE SURROUNDING BALL.
  4. EXCAVATE PLANTING HOLES WITH SLOPING SIDES. MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND NO DEEPER THAN THE DISTANCE FROM THE TOP MOST ROOTS IN THE ROOT BALL TO THE BOTTOM OF THE ROOT BALL TO ALLOW FOR SETTLING. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES, BUT DO SCORE THE SIDES OF THE PLANTING HOLE. THE PLANTING AREA SHALL BE LOOSENEED AND AERATED AT LEAST THREE TIMES THE DIAMETER OF THE ROOT BALL. BACKFILL SHALL CONSIST OF EXISTING SITE TOPSOIL - NO AMENDMENTS SHALL BE USED UNLESS OTHERWISE SPECIFIED.
  5. TREES SHALL BE PLANTED WITH THE ROOT COLLAR/FLARE VISIBLE ABOVE GRADE AND TWO OR MORE STRUCTURAL ROOTS LOCATED WITHIN THE TOP 1" TO 2" OF THE ROOT BALL/FINISHED GRADE MEASURED 3" TO 4" FROM TRUNK. THIS INCLUDES TREES THAT ARE SET ON SLOPES (SEE SLOPE PLANTING DETAIL). TREES THAT DO NOT HAVE A VISIBLE ROOT COLLAR SHALL BE REJECTED. DO NOT COVER THE ROOT BALL WITH SOIL.
  6. WHEN ROOT BALL WILL REMAIN INTACT, CUT OFF BOTTOM 1/4 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF REMAINDER OF BASKET AFTER TREE IS SET IN HOLE, REMOVE BASKET COMPLETELY. AT A MINIMUM, THE TOP 2/3 OF THE BURLAP AND BASKET SHALL BE REMOVED FROM THE ROOT BALL ON ALL TREES. REMOVE ALL NYLON TIES, TWINE, ROPE AND BURLAP. REMOVE UNNECESSARY PACKING MATERIAL. FORM SOIL INTO A 3" TO 5" TALL WATERING RING (SAUCER) AROUND PLANTING AREA. THIS IS NOT NECESSARY IN IRRIGATED TURF AREAS. APPLY 2" TO 4" DEPTH OF SPECIFIED MULCH OVER PLANTING AREA AND INSIDE SAUCERS, AWAY FROM TRUNK.
  7. STAKING AND GUYING OF TREES IS OPTIONAL IN MOST PLANTING SITUATIONS. IN AREAS OF EXTREME WINDS OR ON STEEP SLOPES, STAKING MAY BE REQUIRED TO STABILIZE TREES. STAKING AND GUYING MUST BE REMOVED WITHIN 1 YEAR OF PLANTING DATE.
  8. TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS AND ONLY THEN AFTER CONSULTATION WITH THE TOWN ARBORIST.
  9. RESETTling OF IMPROPERLY PLANTED TREES WILL ONLY BE ALLOWED IF IT IS DETERMINED THAT DOING SO WILL IN NO WAY COMPROMISE THE ROOT BALL, AND SHALL ONLY BE DONE WITH APPROVAL OF THE TOWN ARBORIST.

518 17th Street  
 Suite 1575  
 Denver, CO 80202  
 www.ees.us.com  
 303-572-7997



FINAL DEVELOPMENT PLAN  
**POMPONIO TERRACE FILINGS 1 & 2**  
 ADAMS COUNTY, CO 80030  
**SITE & LANDSCAPE DETAILS**

PROJECT NO: PHT004.01  
 DESIGNED BY: PCS GROUP  
 DRAWN BY: JI  
 DATE: 08/11/16  
**L2.1**



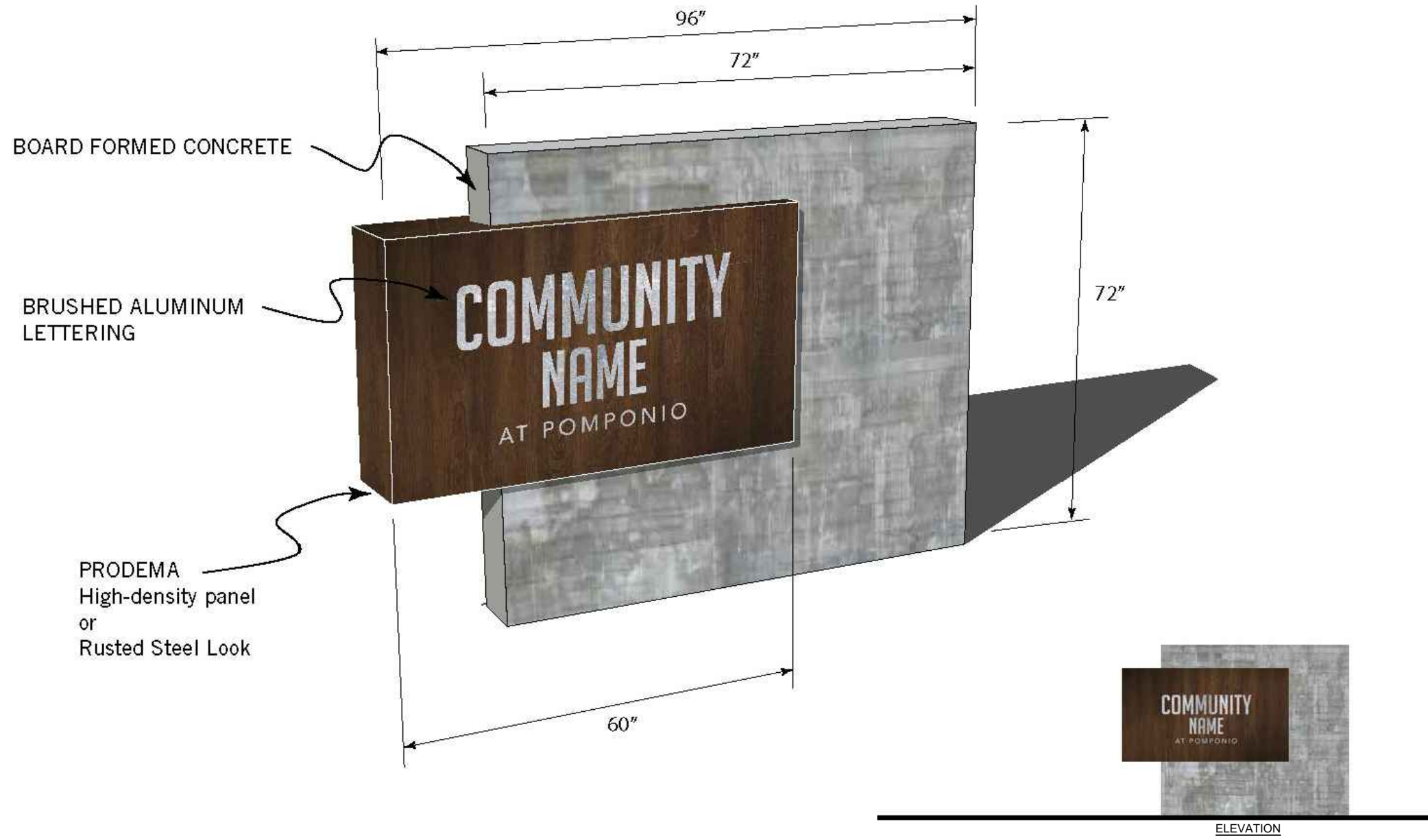
# SIGNAGE NOTES

## MONUMENT SIGNAGE NOTES

1. MONUMENT SIGN IS TYPICAL AND SUBJECT TO CHANGE. FINAL SIGN DESIGN AND CONSTRUCTION DETAILS SHALL BE SUBMITTED AS PART OF A PERMIT PROCESS. DRAWING IS SHOWN TO ILLUSTRATE DESIGN INTENT AND SCALE.
2. (1) MONUMENT SIGN WILL BE INSTALLED AS PART OF FILINGS 1 & 2. IT WILL BE LOCATED AT THE INTERSECTION OF W. 70TH AVE. & CLAY ST.
3. PROPOSED MONUMENTATION MAY CONSIST OF A VARIETY OF BUILDING MATERIALS INCLUDING STONE, CONCRETE, METAL, STUCCO OR COMBINATION THERE OF.
4. APPROX. SIGN FACE AREA = ±40 SQ. FT., MAX.
5. SIGN HEIGHT = 6' MAX.
6. SETBACK FROM W. 70TH AVE RIGHT OF WAY = 8 FEET
7. SETBACK FROM NEAREST LOT LINE = 6.52 FEET
8. MONUMENT LANDSCAPE BED = ±700 SQ. FT.

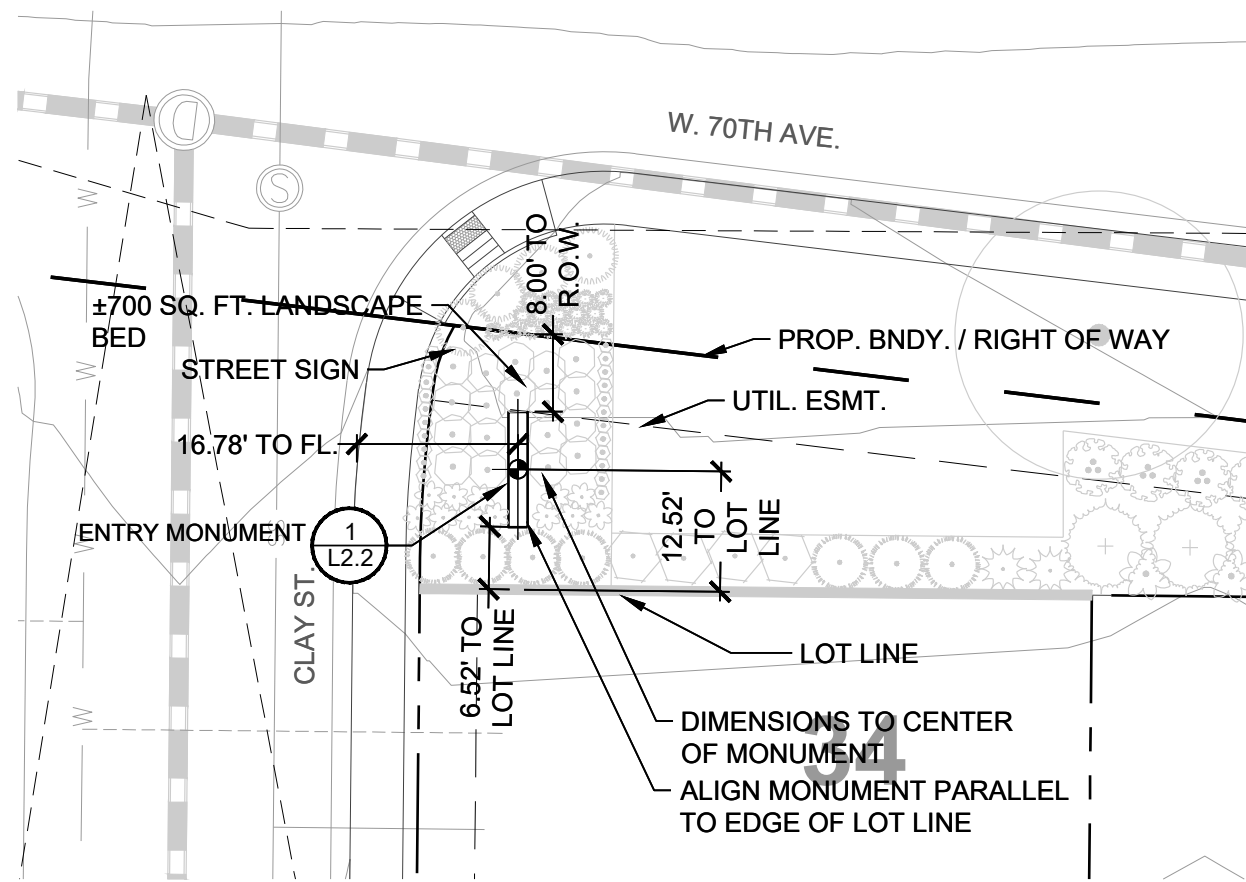
## MARKETING SIGNAGE NOTES

9. MARKETING SIGN DESIGN AND CONSTRUCTION DETAILS SHALL BE SUBMITTED AS PART OF A SEPARATE PERMIT PROCESS.
10. A MINIMUM OF (3) LARGE MARKETING SIGNS ARE PROPOSED TO BE LOCATED ON FEDERAL BLVD. AND/OR ON W. 70TH AVE. LARGE MARKETING SIGNS SHALL RANGE IN SIZE FROM 12'X8' TO 16'X12'.
11. MULTIPLE DIRECTIONAL/MARKETING SIGNS SHALL BE PLACED THROUGHOUT THE DEVELOPMENT. DIRECTIONAL/MARKETING SIGNS SHALL RANGE IN SIZE FROM 4'X8' TO 8'X12'.

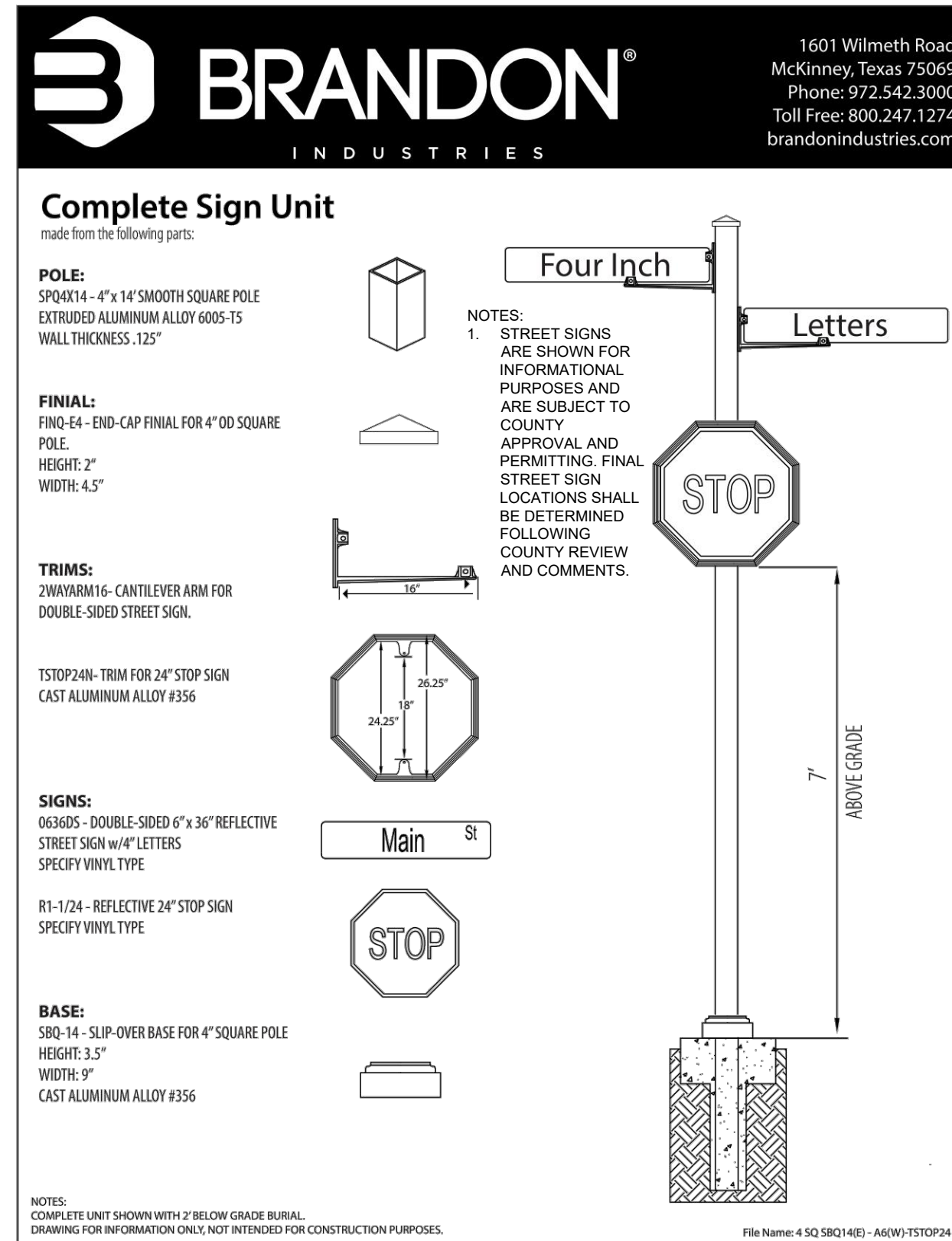
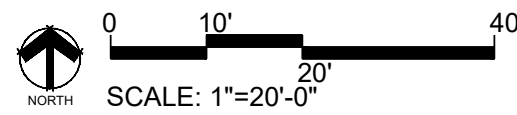


1 ENTRY MONUMENT

NOT TO SCALE



2 MONUMENT LAYOUT PLAN



3 ENHANCED STREET SIGN

NOT TO SCALE



pcs group inc. www.pcsgruopco.com  
#3, B-180 Independence plaza  
1007 16th street, denver co 80265  
1 303.531.4905 . f 303.531.4908

1601 Wilmeth Road  
McKinney, Texas 75069  
Phone: 972.542.3000  
Toll Free: 800.247.1274  
brandonindustries.com

### Complete Sign Unit

made from the following parts:

**POLE:**  
SPQ4X14 - 4" x 14" SMOOTH SQUARE POLE  
EXTRUDED ALUMINUM ALLOY 6005-T5  
WALL THICKNESS .125"

**FINIAL:**  
FINQ-E4 - END-CAP FINIAL FOR 4" OD SQUARE POLE.  
HEIGHT: 2"  
WIDTH: 4.5"

**TRIMS:**  
2WAYARM16 - CANTILEVER ARM FOR DOUBLE-SIDED STREET SIGN.

TSTOP24N - TRIM FOR 24" STOP SIGN  
CAST ALUMINUM ALLOY #356

**SIGNS:**  
0636DS - DOUBLE-SIDED 6" x 36" REFLECTIVE STREET SIGN w/4" LETTERS  
SPECIFY VINYL TYPE

R1-1/24 - REFLECTIVE 24" STOP SIGN  
SPECIFY VINYL TYPE

**BASE:**  
SBQ-14 - SLIP-OVER BASE FOR 4" SQUARE POLE  
HEIGHT: 3.5"  
WIDTH: 9"  
CAST ALUMINUM ALLOY #356

NOTES:  
COMPLETE UNIT SHOWN WITH 2" BELOW GRADE BURIAL.  
DRAWING FOR INFORMATION ONLY, NOT INTENDED FOR CONSTRUCTION PURPOSES.

File Name: 4 SQ SBQ14(E) - A6(W)-TSTOP24

518 17th Street  
Suite 1575  
Denver, CO 80202  
www.ees.us.com  
303-572-7997

**EES**  
ENTITLEMENT AND  
ENGINEERING SOLUTIONS, Inc.



FINAL DEVELOPMENT PLAN

**POMPONIO TERRACE FILINGS 1 & 2**

ADAMS COUNTY, CO 80030

**SITE & LANDSCAPE DETAILS**

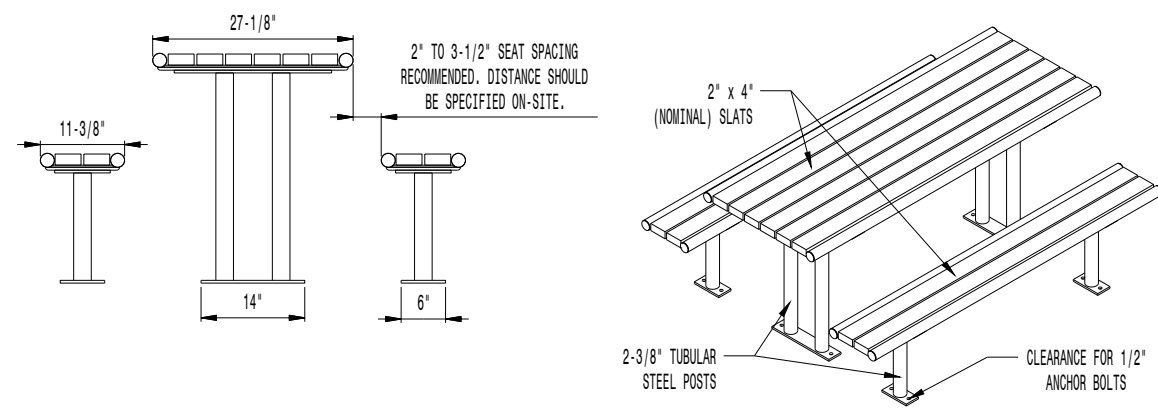
PROJECT NO: PHT004.01  
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DRAWN BY: JI  
DATE: 08/11/16

DESIGN IS TYPICAL.  
SPECIFIED EQUIPMENT  
AND MATERIALS MAY BE  
SUBJECT TO CHANGE.

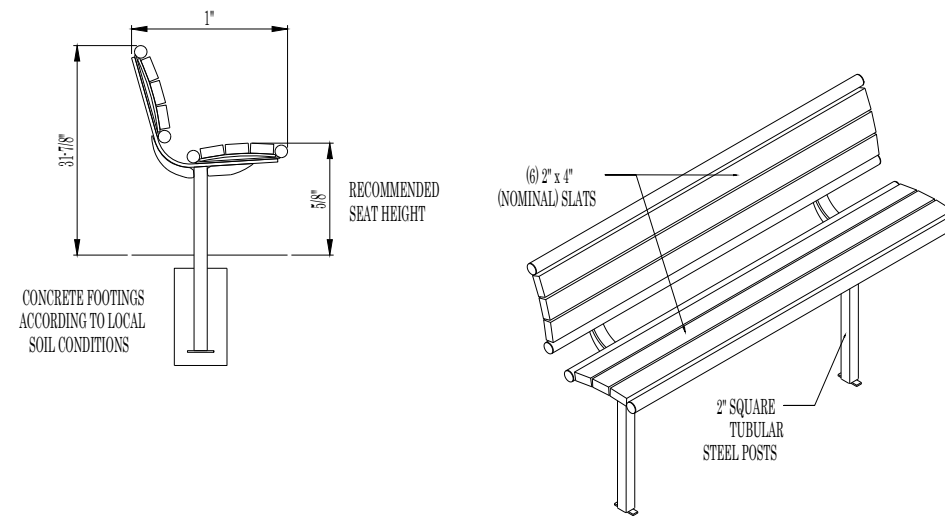
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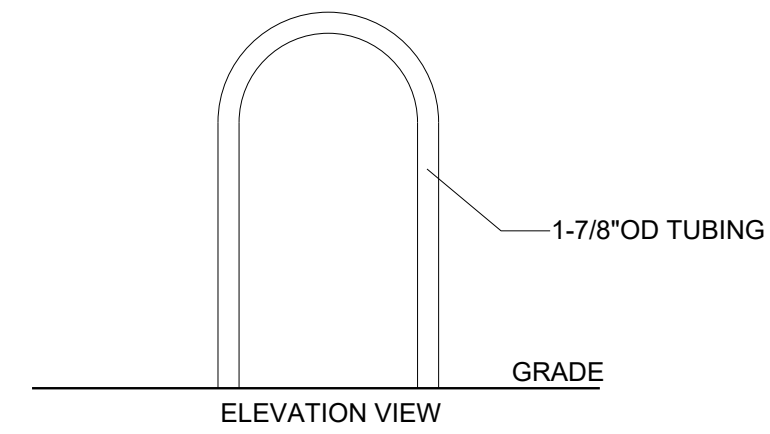




**1 TABLE**  
TYPICAL - SUBJECT TO CHANGE NOT TO SCALE

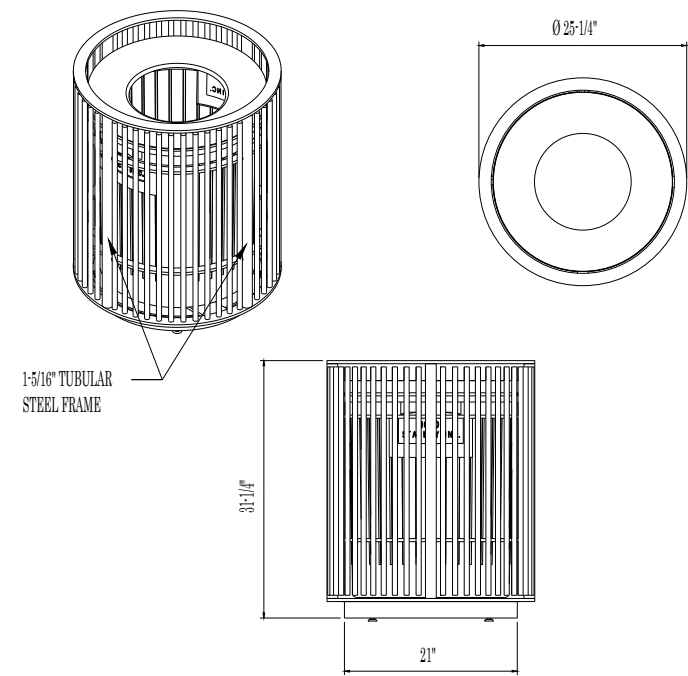


**2 BENCH**  
TYPICAL - SUBJECT TO CHANGE NOT TO SCALE

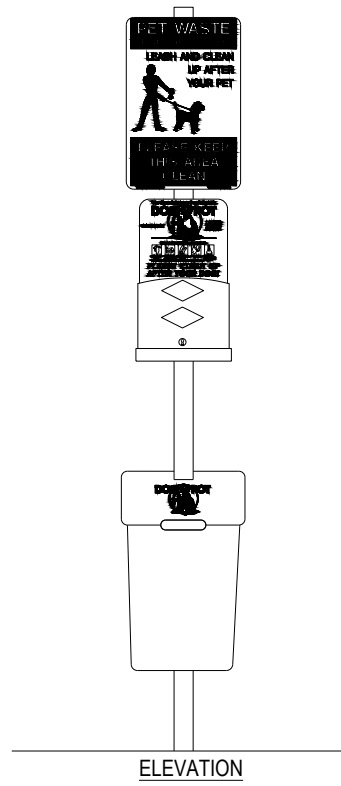


**3 BIKE RACK**  
TYPICAL - SUBJECT TO CHANGE NOT TO SCALE

people creating spaces  
pcs group inc. www.pcsgruopco.com  
#3, B-180 Independence plaza  
1007 16th street . denver co 80265  
1 303.531.4905 . f 303.531.4908



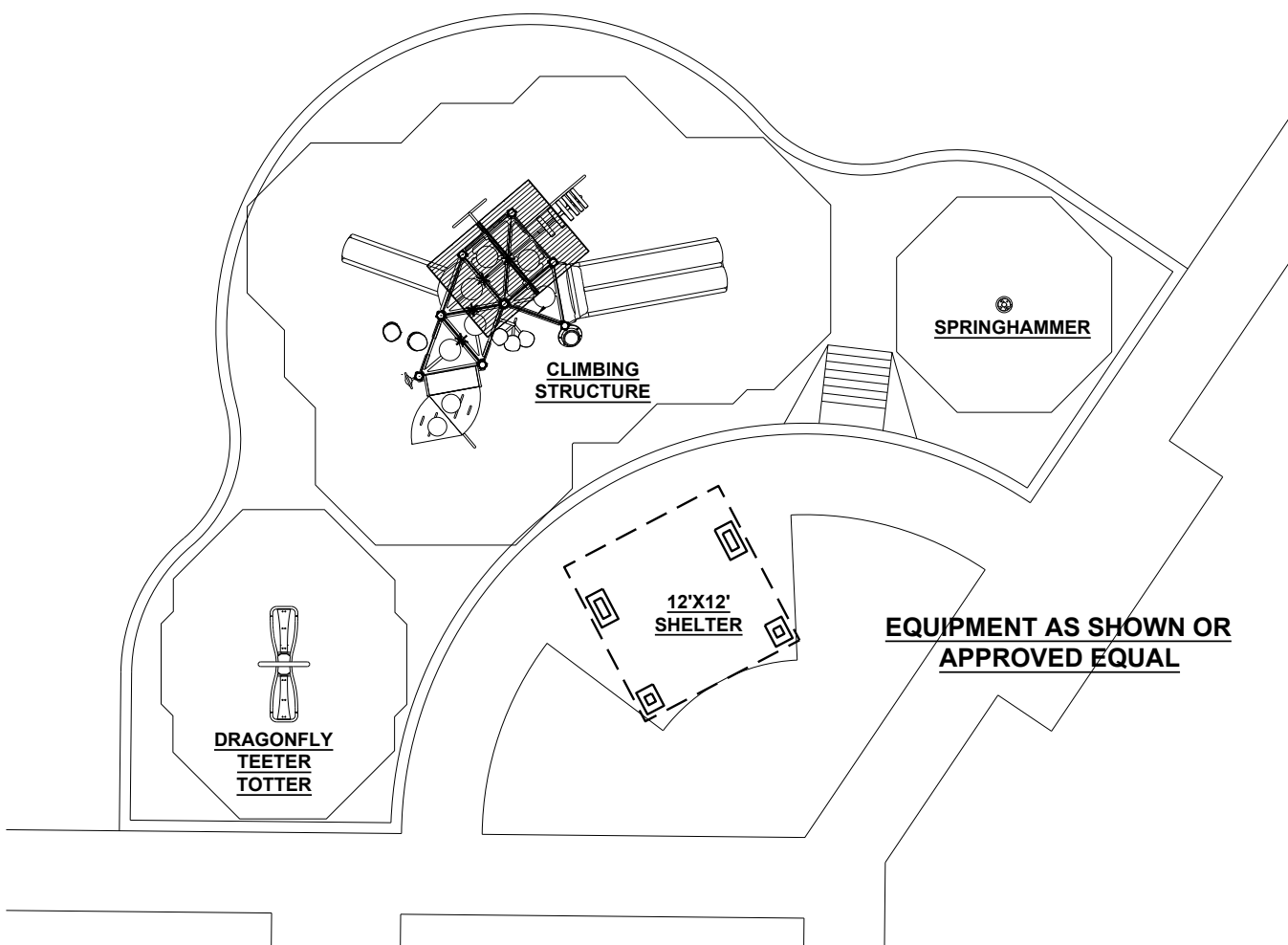
**4 TRASH RECEPTACLE**  
TYPICAL - SUBJECT TO CHANGE NOT TO SCALE



**5 PET STATION**  
TYPICAL - SUBJECT TO CHANGE NOT TO SCALE



**6 12' X 12' SHELTER**  
LOCATED IN LINEAR & PICNIC PARKS, TYPICAL - SUBJECT TO CHANGE NOT TO SCALE



**7 PLAYGROUND LAYOUT & EQUIPMENT**  
LOCATED IN LINEAR PARK, TYPICAL - SUBJECT TO CHANGES NOT TO SCALE



DESIGN IS TYPICAL.  
SPECIFIED EQUIPMENT  
AND MATERIALS MAY BE  
SUBJECT TO CHANGE.

518 17th Street  
Suite 1575  
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www.ees.us.com  
303-572-7997

**EES**  
ENTITLEMENT AND  
ENGINEERING SOLUTIONS, Inc.

*Pomponio*  
TERRACE

FINAL DEVELOPMENT PLAN  
**POMPONIO TERRACE FILINGS 1 & 2**  
ADAMS COUNTY, CO 80030  
**SITE & LANDSCAPE DETAILS**

PROJECT NO: PHT004.01  
DESIGNED BY: PCS GROUP  
DRAWN BY: JI  
DATE: 08/11/16

**L2.3**



**POMPONIO TERRACE**  
 E 1/2 Section 5, Township 3 South, Range 68 West of the 6th P.M.  
 ADAMS COUNTY, COLORADO  
 Planned Unit Development

**ARCHITECTURAL STANDARDS**

**1.1 Facades**

- a. All facades shall have durable siding materials which may include vinyl, cement fiber, engineered wood composite, stucco, rust resistant architectural metals or a combination of the above.
- b. Material diversity is required. A minimum of two different materials shall be incorporated in each elevation. Variations of the same material (scallop, fish-scale, lap siding, vertical board and batten) of the same or different color will be considered different materials. The coverage of the second material does not need to be evenly distributed.
- c. There shall be no windowless elevation.

**1.2 Roofs**

- a. The homes shall have a minimum pitch on the predominant roof planes of at least 3:12 (excluding dormers, porch roofs and other extensions.)
- b. Acceptable roofing materials includes architectural grade composition roofing.
- c. Rooftop equipment, HVAC units, swamp coolers and antennas, shall not be placed on the street side facing portion of the roof. Solar Panels will be allowed on the street facing sides. This standard does not apply to those items listed below:  
 Piping, venting, flashing, solar panel frames and other rooftop equipment exposed to view shall be finished to match the roof surface color or otherwise designed to blend with the roof surface.

**1.3 Windows and Doors**

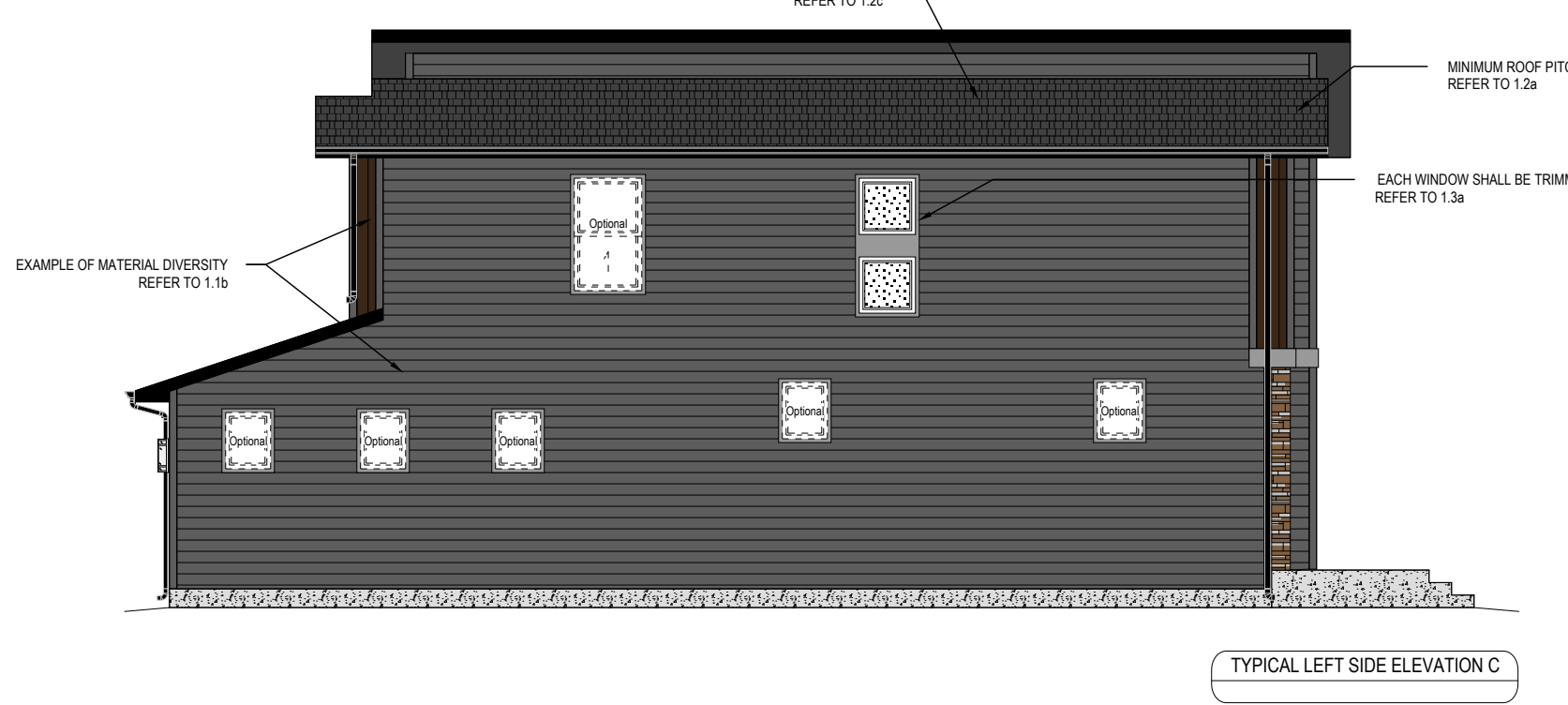
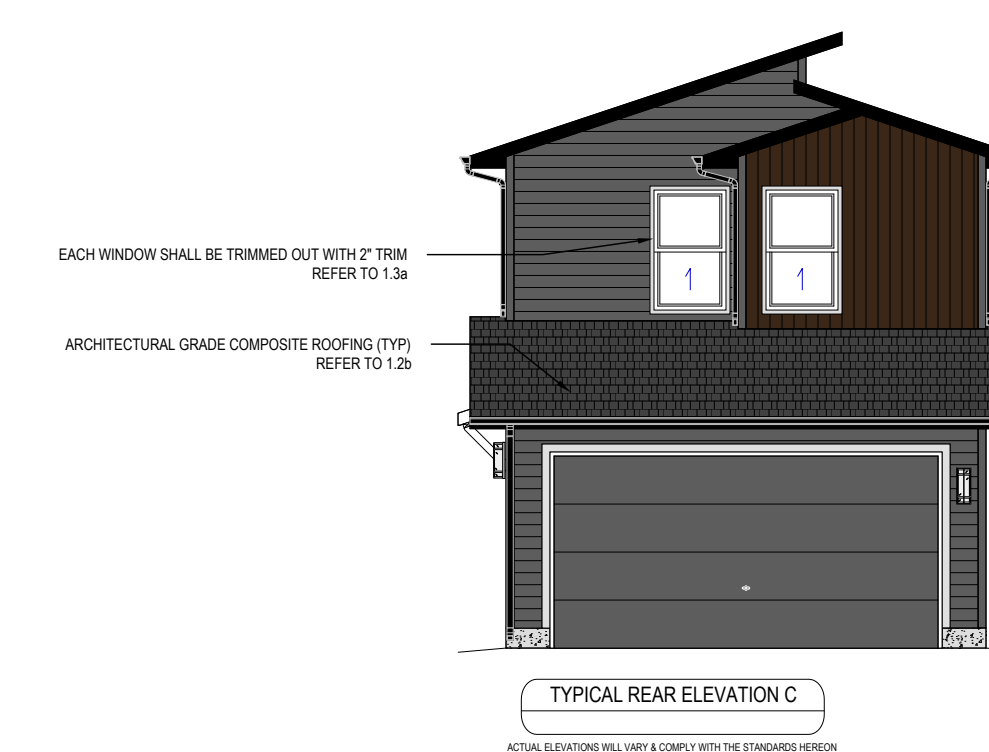
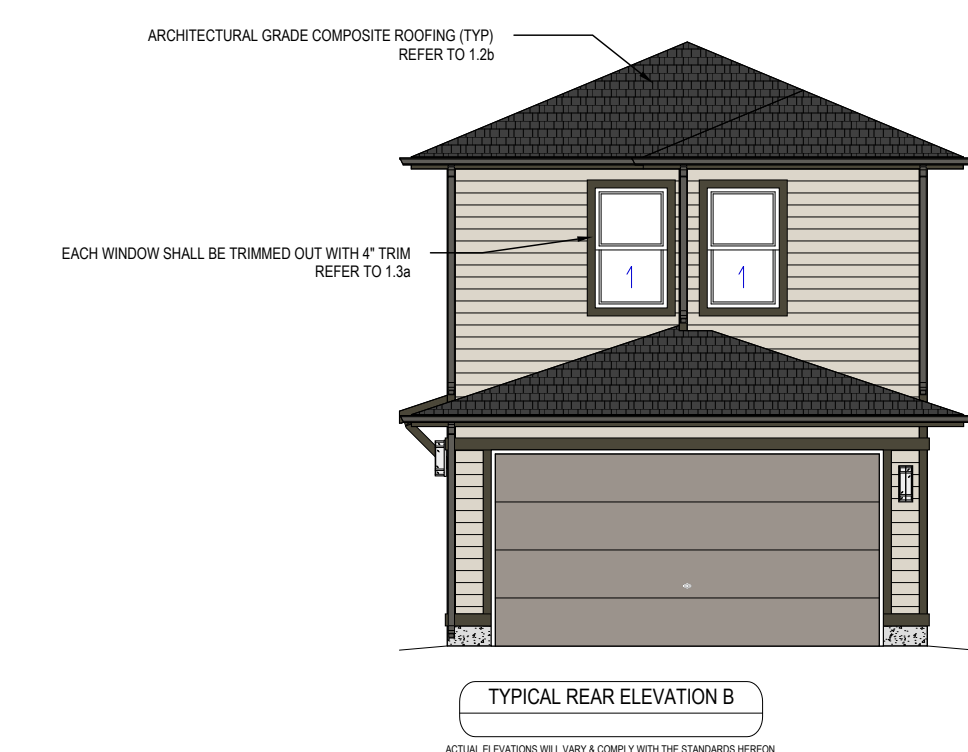
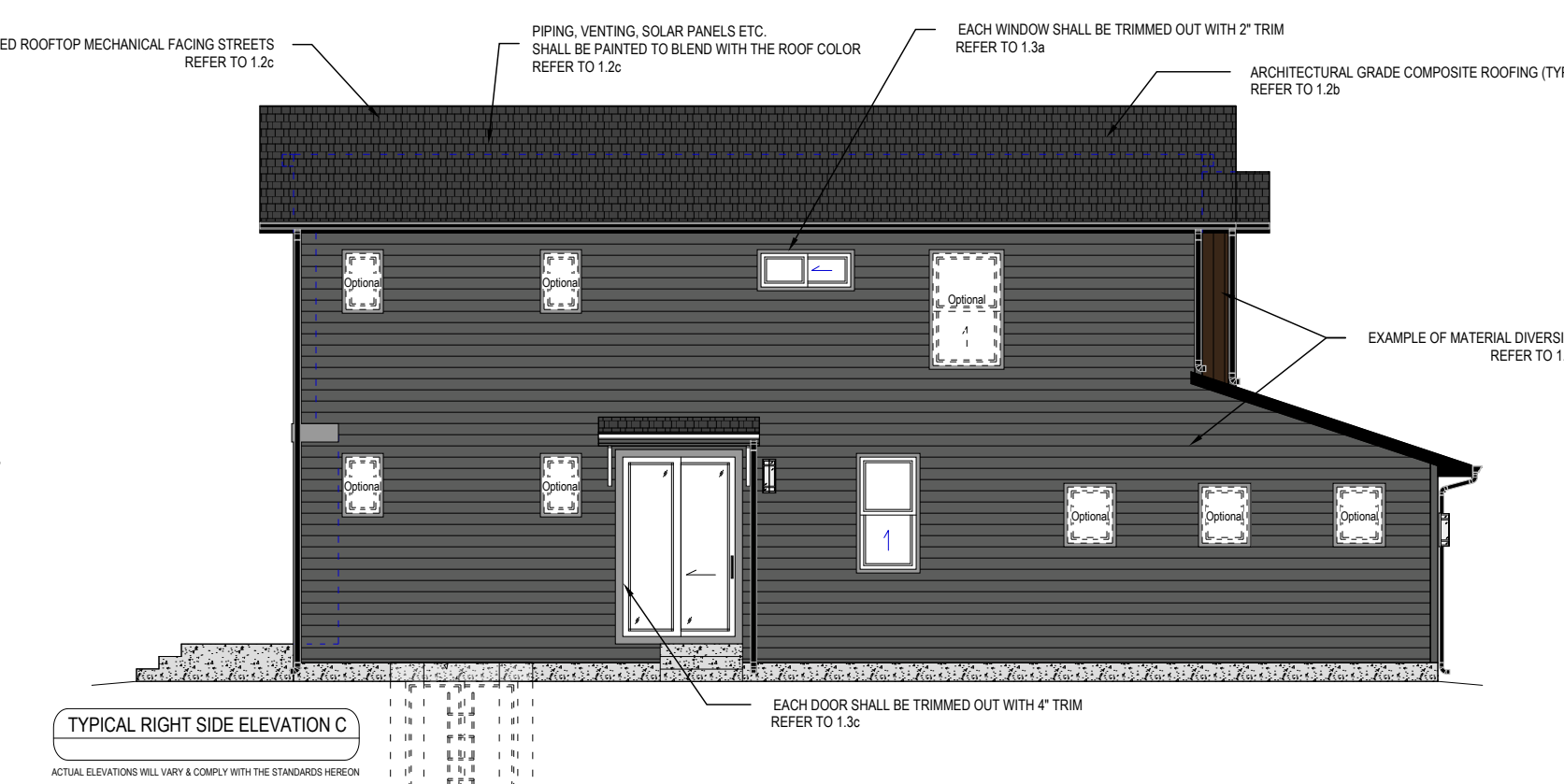
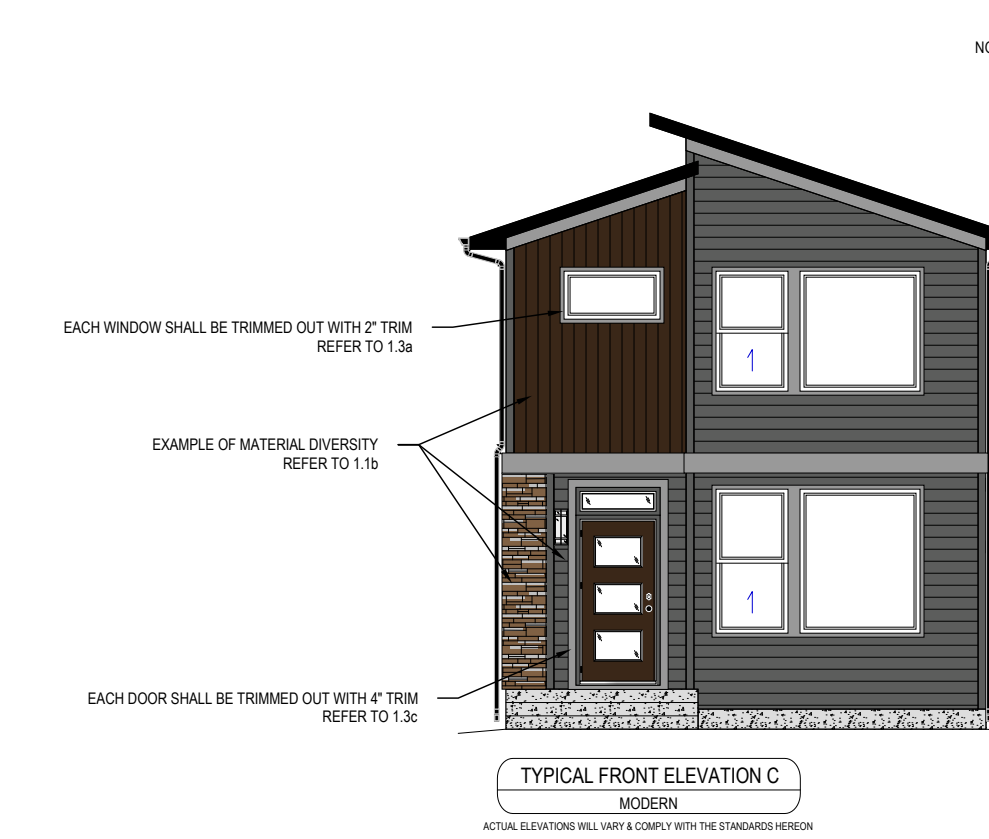
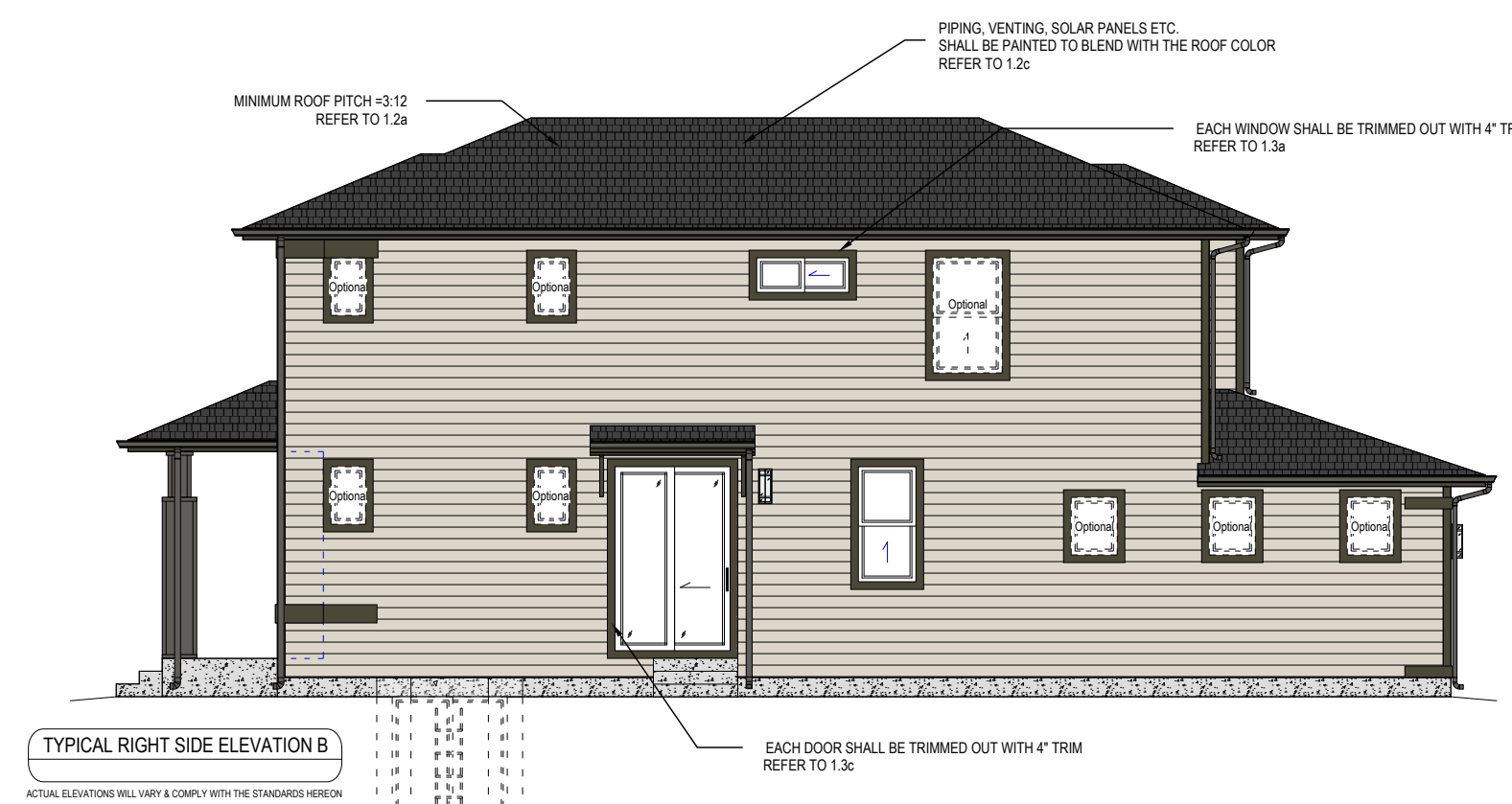
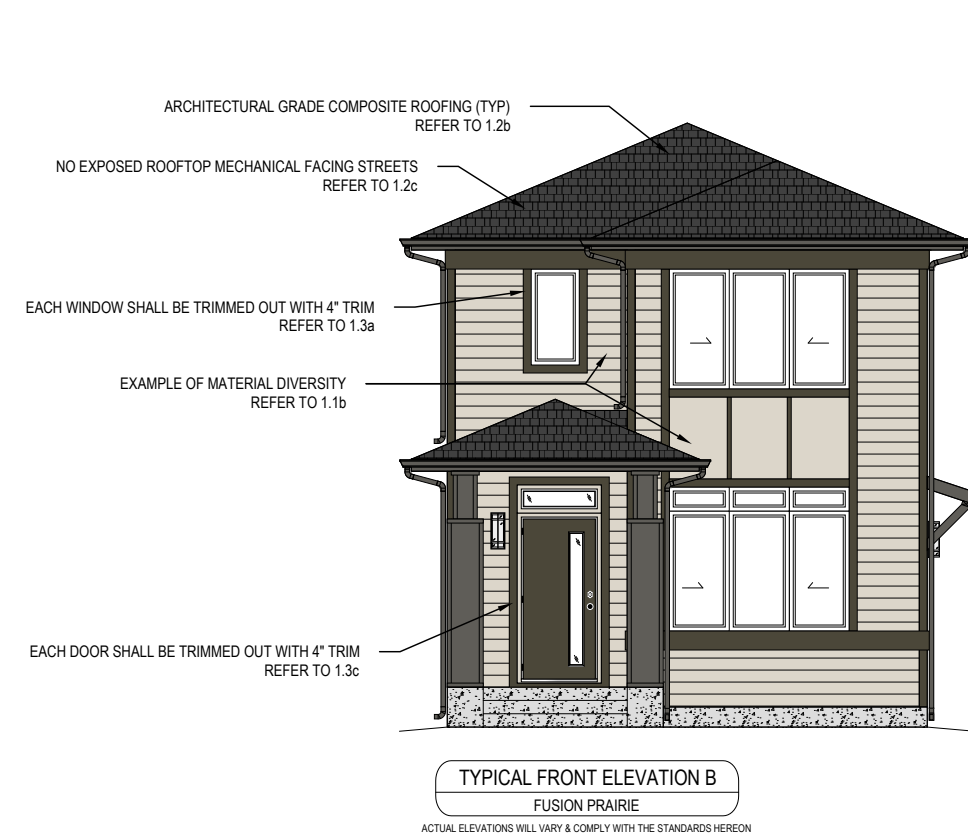
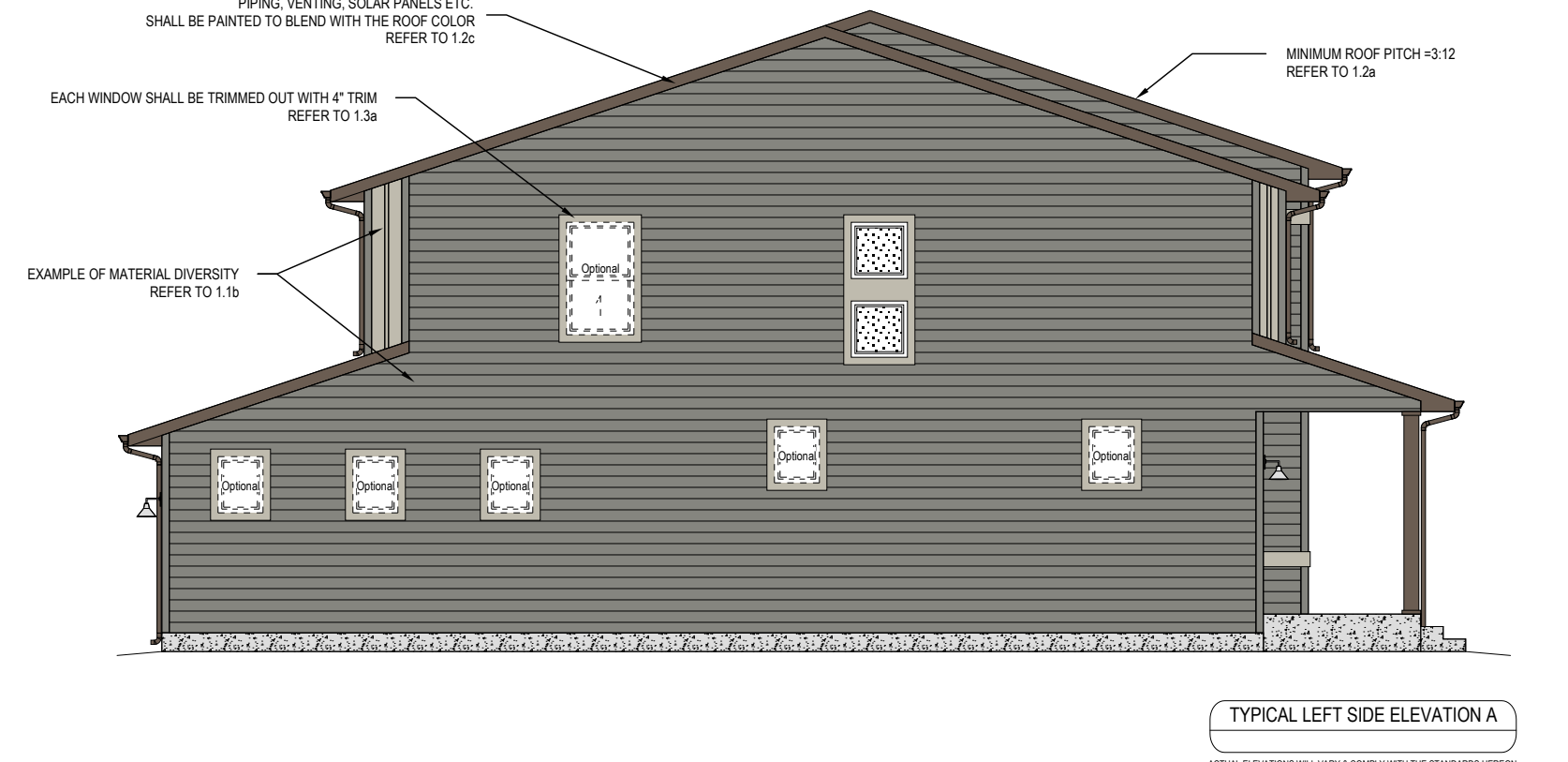
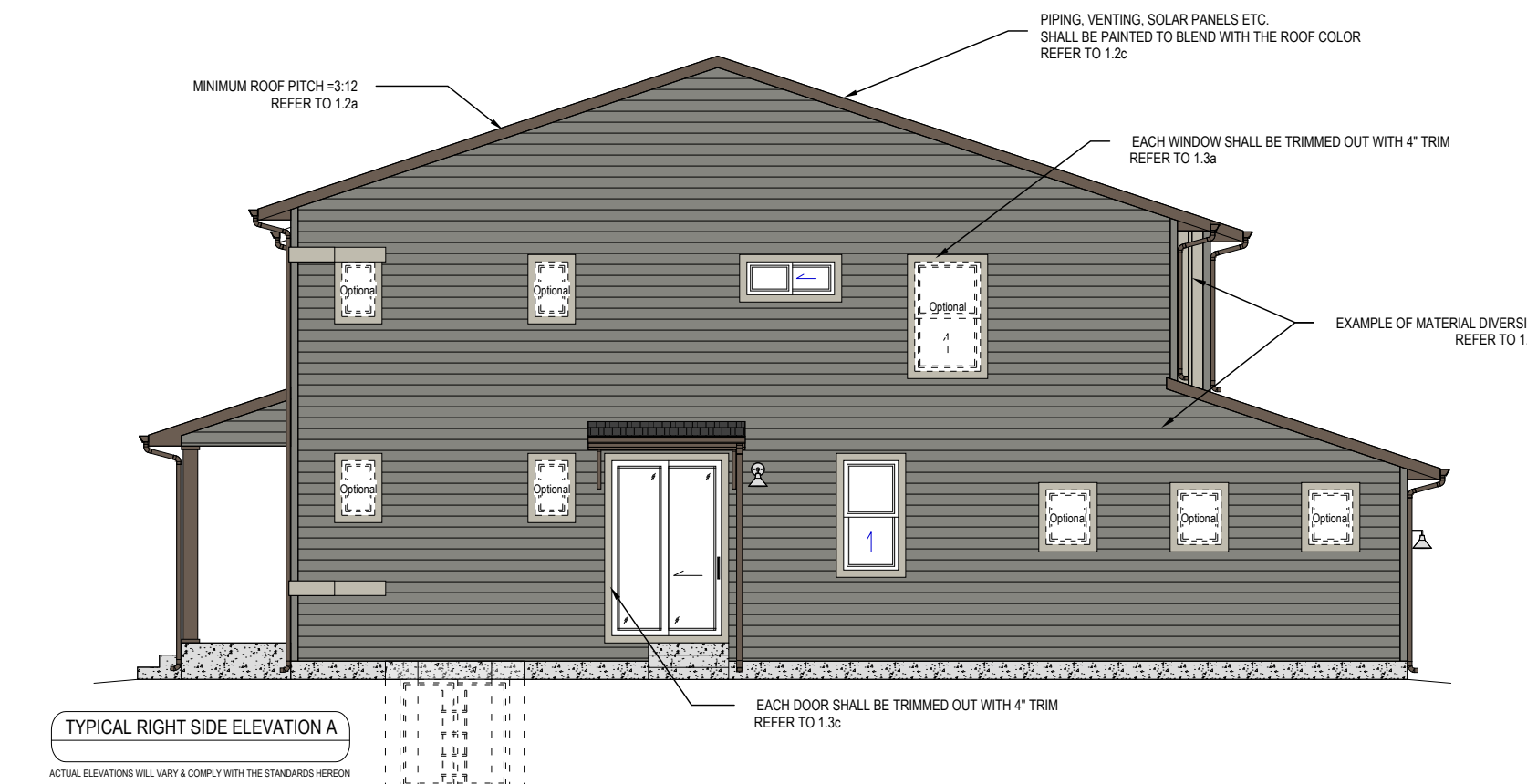
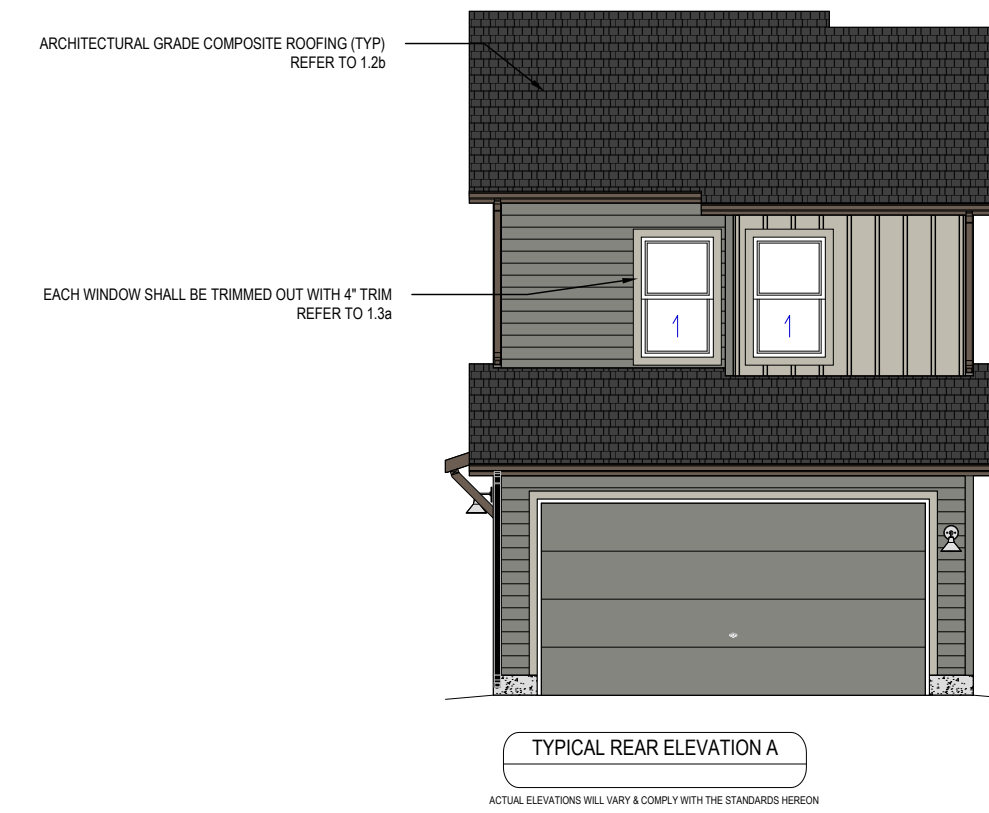
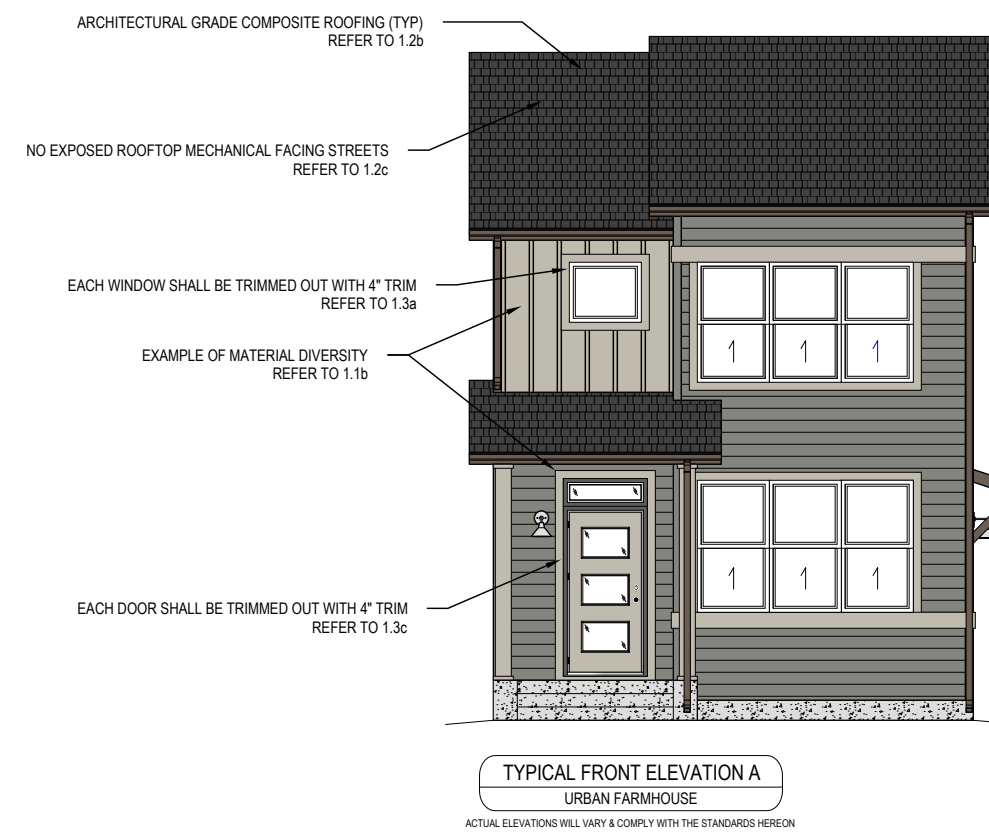
- a. Each window shall either have a minimum 4" nominal wide wood trim border for Elevations A and B and a minimum 2" nominal wide wood border for Elevation C.
- b. Window frames shall be vinyl.
- c. Each door shall either have a minimum 4" nominal wide wood trim border .

**ARCHITECTURAL CHARACTER**

Pomponio Terrace is envisioned as a unique community that is eager to welcome a number of personal styles. The goal in Pomponio Terrace is to accommodate the desires and needs of these many personalities while creating an exciting yet compatible environment.

Pomponio Terrace will provide a blend of the old with the new. There will be a fusion of traditional and modern architectural styles that will offer a creative edge to the design opportunities. The exterior colors will be a collection of environmental influences balanced with creative bold colors to enhance architectural details.

The intentions of the Architectural Guidelines will be to create a contemporary, vibrant community - an urban fusion of architectural styles that is comfortable and friendly to all its residents.



COLOR SCHEME #5

APPROVAL CERTIFICATE	
ENGINEERING:	INITIALS/DATE
PLANNING:	INITIALS/DATE
OWNER:	INITIALS/DATE
XXXXX:	INITIALS/DATE

<b>9'4" MAIN FLOOR TO WINDOWS @ 7'-6" FROM TOP OF JOIST UNLESS NOTED OTHERWISE</b>	
POMPONIO MAIN FLOOR 1618 POMPONIO BASEMENT 476" POMPONIO GARAGE 1537 WILLOW MAIN FLOOR 1417' WILLOW BASEMENT 454' WILLOW GARAGE 454' <small>(DIMENSIONS IN FEET)</small>	AREA TABULATION (SQ. FT.) B. SANDMIAN DRAWN BY: 05/28/2015 PROJECT NO.: 1/4" = 1'-0" SCALE: 1/4" = 1'-0" THESE PLANS ARE THE PROPERTY OF CARDEL HOMES AND SHALL NOT BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF CARDEL HOMES. FINAL SITE GRADES MAY ALTER EXTERIOR APPEARANCE. SUBMITTER WILL CHANGE EDITIONS OF THESE PLANS WITHOUT NOTICE. SITE DIMS & ELEC. LOCATIONS MAY VARY FROM PLAN.
NOTES	
NO.	
DATE	
<b>CARDEL HOMES</b> 9110 E. NICHOLS AVE SUITE 120 CENTENNIAL, CO 80112 PH. 303.662.8842 FAX 303.662.8894	
Subdivision: <b>POMPONIO TERRACE</b> Plot: <b>POMPONIO TERRACE ALLEY LOADED HOMES</b> Page: <b>ARCHITECTURAL STANDARDS</b>	
SHEET <b>1.0</b>	



**POMPONIO TERRACE**  
 E 1/2 Section 5, Township 3 South, Range 68 West of the 6th P.M.  
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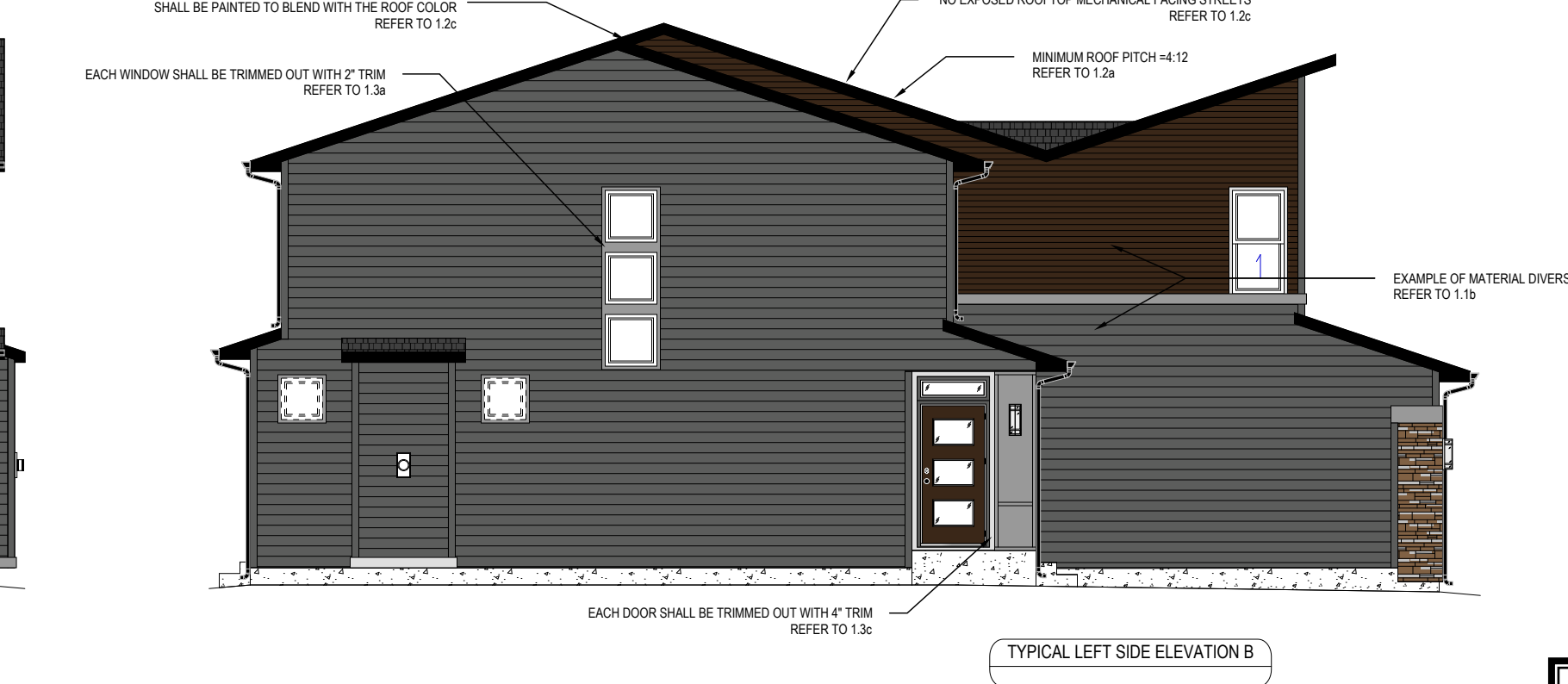
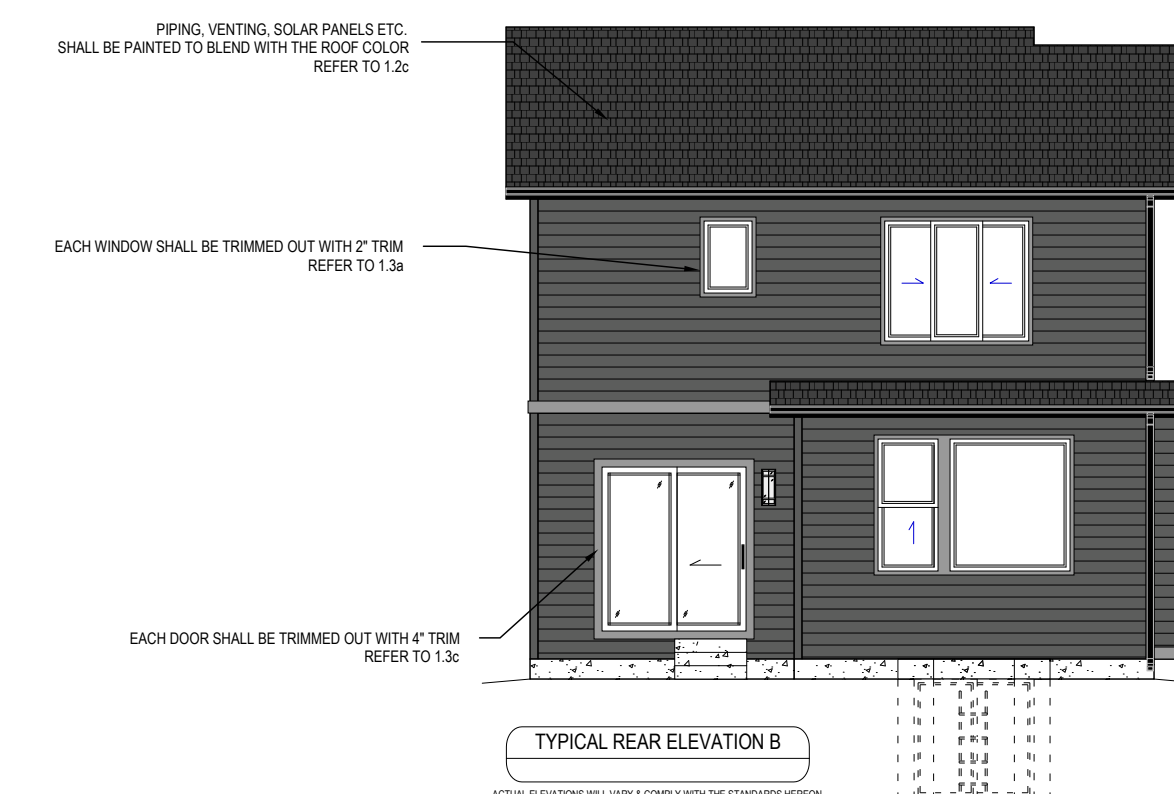
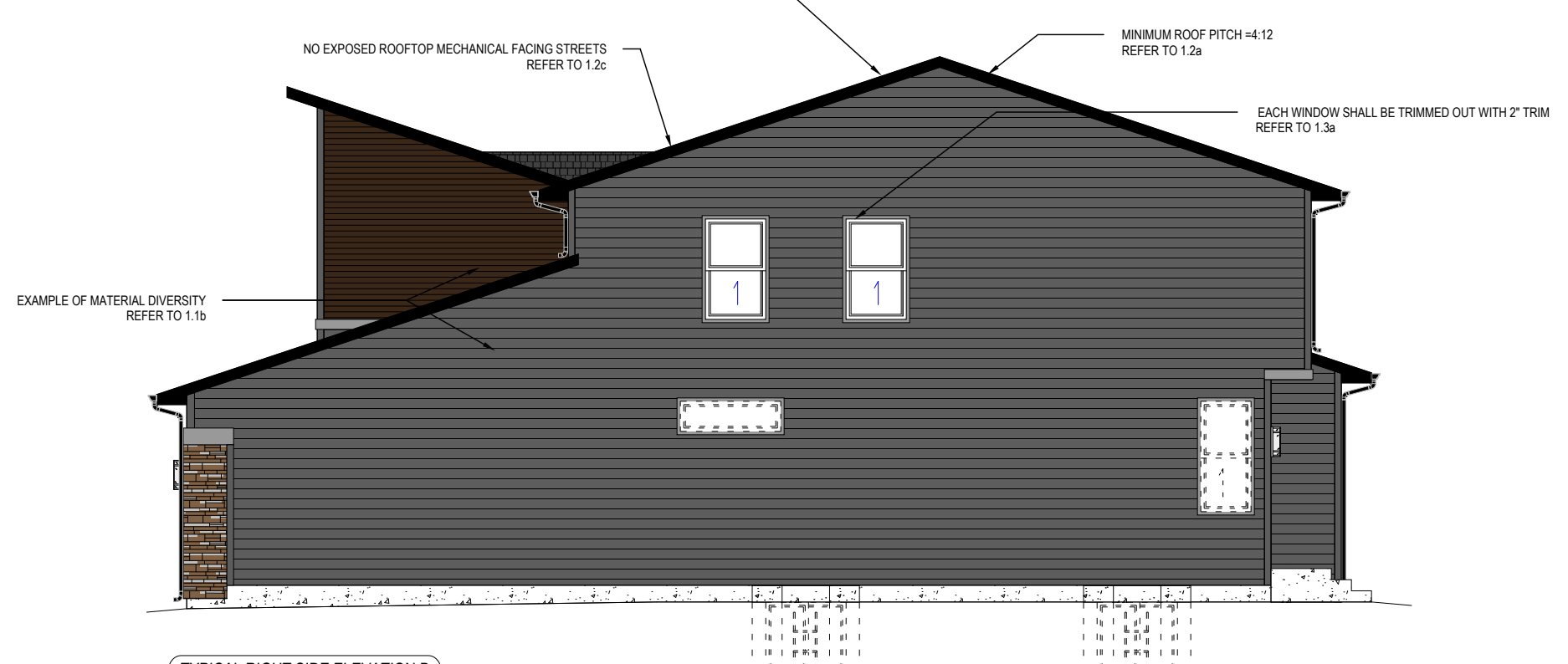
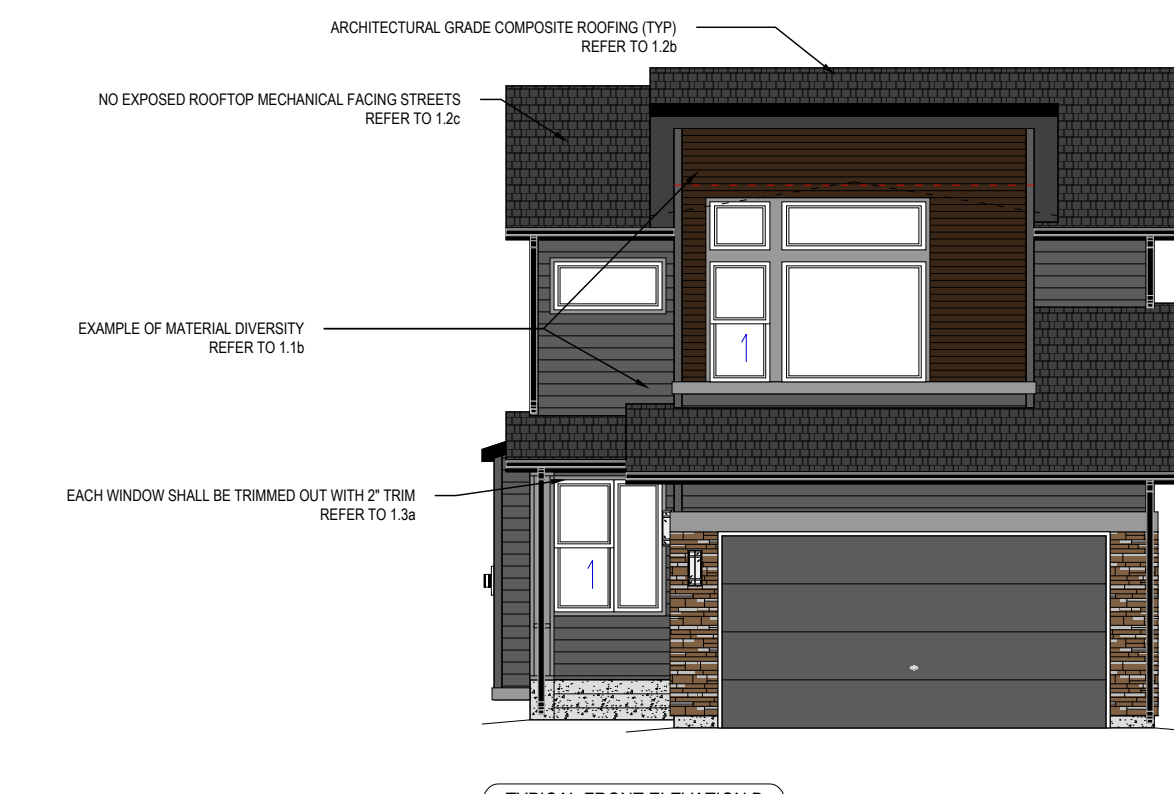
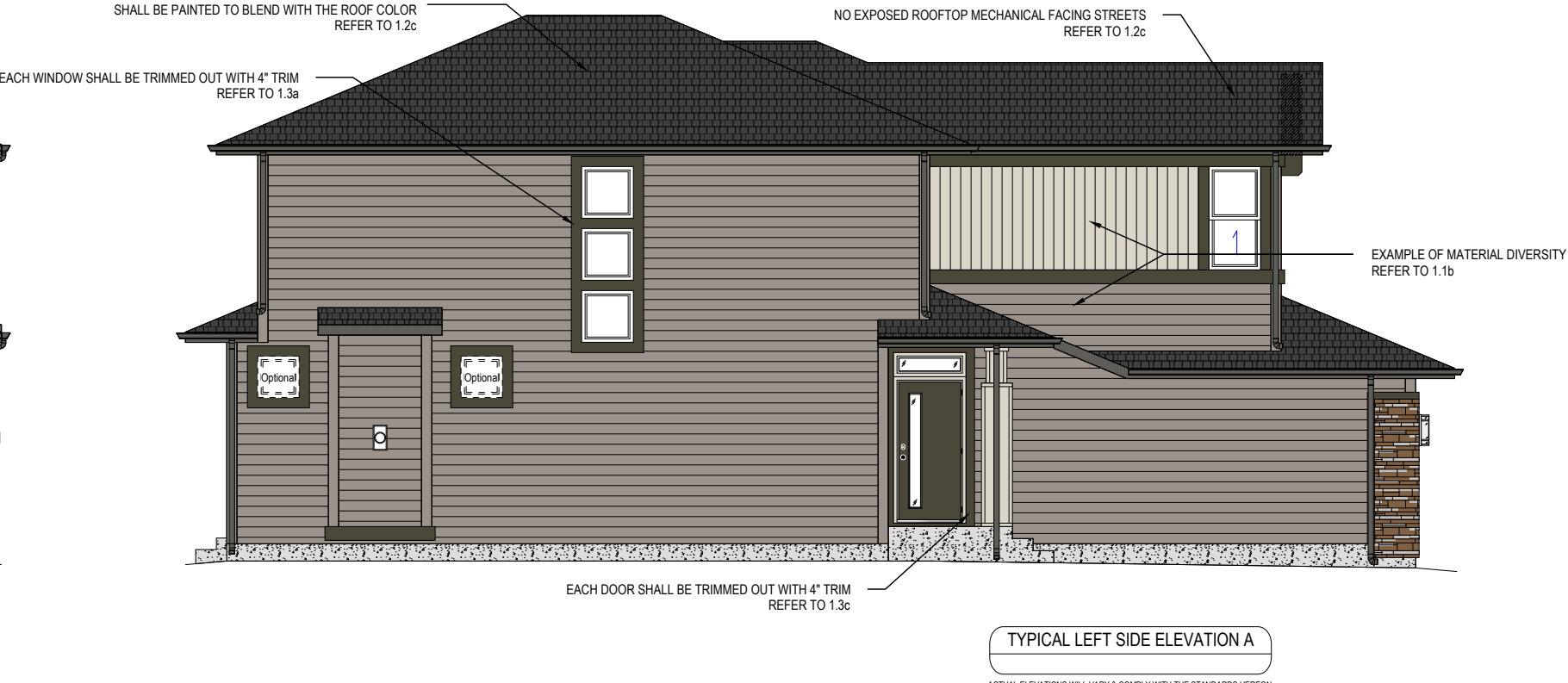
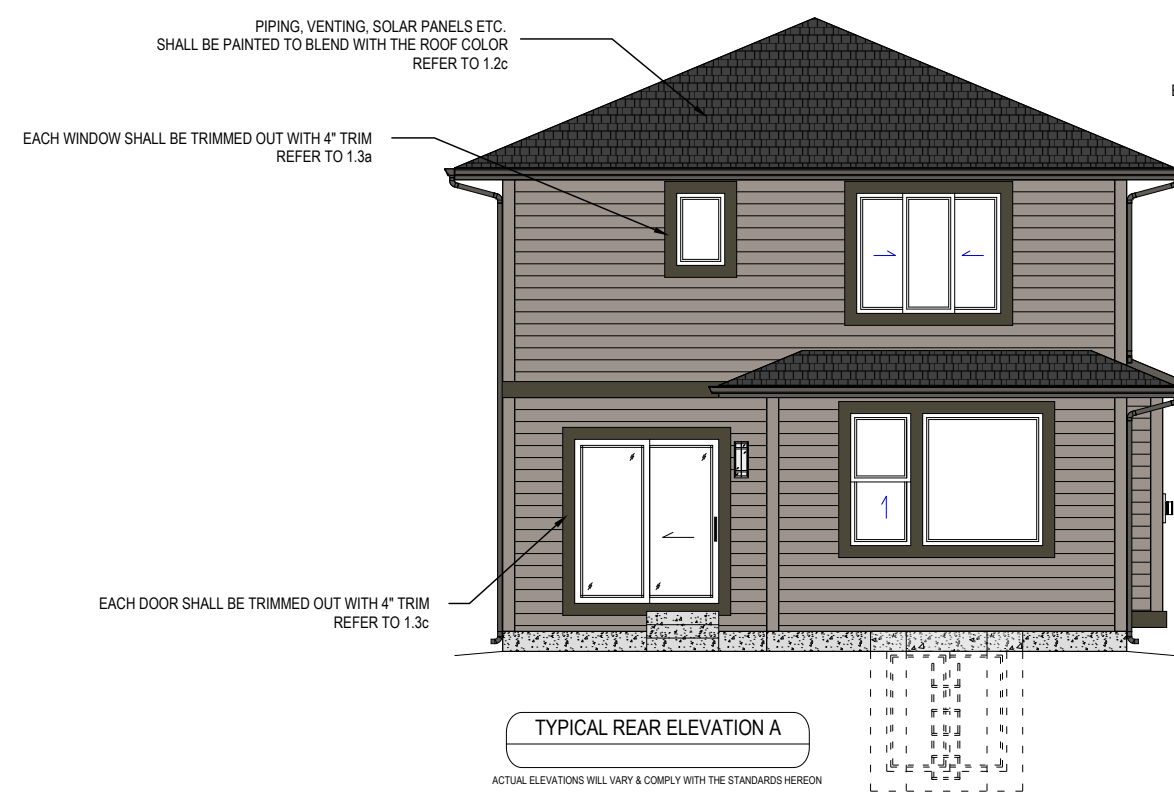
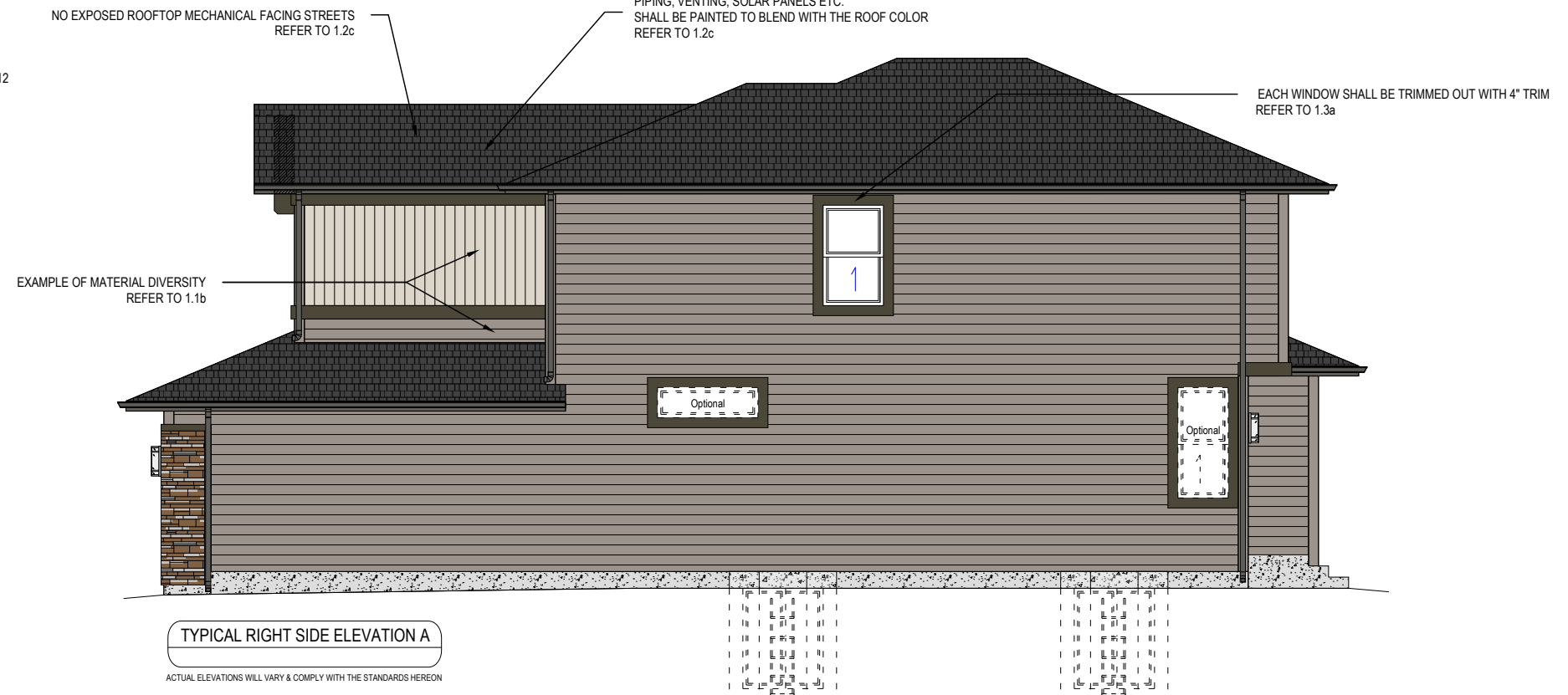
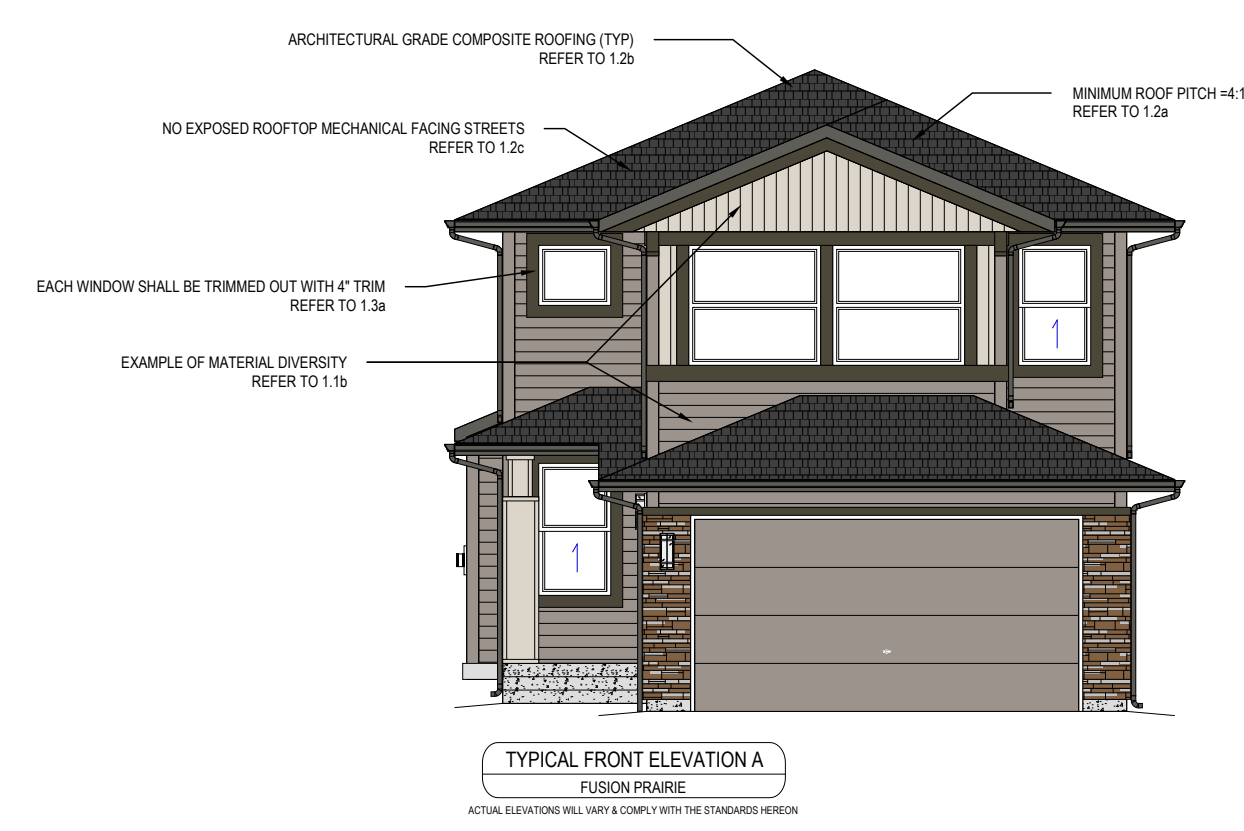
- a. Each window shall either have a minimum 4" nominal wide wood trim border for Elevations A and a minimum 2" nominal wide wood border for Elevation B.
- b. Window frames shall be vinyl.
- c. Each door shall either have a minimum 4" nominal wide wood trim border .

**ARCHITECTURAL CHARACTER**

Pomponio Terrace is envisioned as a unique community that is eager to welcome a number of personal styles. The goal in Pomponio Terrace is to accommodate the desires and needs of these many personalities while creating an exciting yet compatible environment.

Pomponio Terrace will provide a blend of the old with the new. There will be a fusion of traditional and modern architectural styles that will offer a creative edge to the design opportunities. The exterior colors will be a collection of environmental influences balanced with creative bold colors to enhance architectural details.

The intentions of the Architectural Guidelines will be to create a contemporary, vibrant community - an urban fusion of architectural styles that is comfortable and friendly to all its residents.



**APPROVAL CERTIFICATE**

ENGINEERING: \_\_\_\_\_ INITIALS/DATE \_\_\_\_\_

PLANNING: \_\_\_\_\_ INITIALS/DATE \_\_\_\_\_

OWNER: \_\_\_\_\_ INITIALS/DATE \_\_\_\_\_

XXXXX: \_\_\_\_\_ INITIALS/DATE \_\_\_\_\_

DRAWN BY: B SANDMAN DRAFT DATE: 05/28/2015 PROJECT NO.: 144 SCALE: 1/4" = 1'-0" THESE PLANS ARE A COPYRIGHT OF CARDDEL HOMES AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE EXPRESSED PERMISSION OF CARDDEL HOMES.	1616 PONDOSA MAIN FLOOR 1377 PONDOSA GARAGE 1377 WILLOW MAIN FLOOR 1377 WILLOW GARAGE *APPROXIMATE INSIDE DIMENSIONS	9'-1" MAIN FLOOR TO WINDOWS @ 7'-6" FROM TOP OF JOIST UNLESS NOTED OTHERWISE	AREA TABULATION (SQ. FT.) 1616 PONDOSA MAIN FLOOR 1377 PONDOSA GARAGE 1377 WILLOW MAIN FLOOR 1377 WILLOW GARAGE	NOTES: NO. _____ DATE _____
<b>CARDEL HOMES</b> 9110 E. NICHOLS AVE. SUITE 120 CENTENNIAL, CO 80112 PH. 303-662-8942 FAX 303-662-8694		POMPONIO TERRACE POMPONIO TERRACE FRONT LOADED HOMES ARCHITECTURAL STANDARDS		SHEET <b>1.1</b>



## Development Review Team Comments

**Date:** 4/12/16

**Project Number:** PRC2016-00004

**Project Name:** Pomponio Terrace FDP and Final Plat

The following review comments and information from the Development Review Team is based on the information you submitted and applicable to the submitted documents only. Please contact the case manager if you have any questions.

For submission of revisions to applications, a cover letter addressing each staff review comments must be provided. The cover letter must include the following information: restate each comment that require a response and provide a response below the comment; respond to each comment with a description of the revisions and the page of the response on the site plan. And identify any additional changes made to the original document other than those required by staff.

**Commenting Division:** Development Services, Planning

**Email:** [ecollins@adcogov.org](mailto:ecollins@adcogov.org)

PLN1. This request is for Final Development Plan and Final Plat for 121 residential units on approximately 21.42 acres.

- a. The final plat and FDP were submitted on March 9, 2016.
- b. The BOCC approved a Preliminary plat and PDP for 248 lots on February 17, 2015.

PLN2. A Subdivision Improvement Agreement is requirement with Final Plat submittal pursuant to Section 2-02-17-04 (Major Subdivision, Final Plat) and Section 5-02-05.

- a. Construction plans have not been approved and an SIA was not submitted with the initial application.
- b. **An SIA and applicable collateral is required prior to scheduling any public hearings.**
- c. The PLD fee for Pomponio Terrace Filing 1 and 2 is \$237,232.26 (paid).

PLN3. FDP Criteria for Approval:

- a. Conforms to Comprehensive Plan.
  - i. Meets goals of Urban Residential designation (variety of housing types).
- b. Conforms to PUD Standards.
  - i. Minimum 1 acre.
  - ii. Superior design/ compatible with adjacent uses
  - iii. Minimum 30% Open Space with 25% active. **This has not been demonstrated.**



- iv. Pedestrian and bicycle amenities
- c. Consistent with any approved PDP.
  - i. The BOCC approved the Preliminary Development Plan on December 8, 2015.
- d. Construction Plans meet requirements of Development Standards and Regulations.  
**Plans not yet approved by Engineering.**

PLN4. Final Plat Criteria for Approval:

- a. Consistent and conforms to approved preliminary plat.
- b. Conformance with subdivision design standards.
- c. Sufficient water and public sanitation.
- d. No presence of soil or topographical conditions or hazards.
- e. Adequate drainage facilities.
- f. Adequate public infrastructure or cash-in-lieu.

PLN5. Density

- a. Average 5.65 dwelling units per acre
- b. 46 front-loaded/ 75 rear-loaded
- c. Conforms to approved PDP/ Compatible with surrounding area.

PLN6. Subdivision Signage:

- a. Proposed 2 entry monument signs.
- b. Maximum height-6 ft and maximum width-8'
- c. Section 4-14-06-04 states subdivision signs shall not exceed 40 square feet in area and shall not exceed 12 feet in height. **The FDP does not conform to these requirements.**
- d. Signs shall be set back a minimum of 8 feet from the front property line and equal to the height of the sign from the side and rear property lines.
- e. The freestanding sign must also comply with the landscape requirements of 2.5 square feet per square foot of sign area.
- f. Please include sign maintenance in the HOA responsibilities.

PLN7. Common Areas:

- a. County maintenance responsibilities can be limited to within the ROW (does not need to define each item).
- b. Individual tracts are not defined in the FDP (i.e. purpose, ownership and maintenance).

PLN8. Open Space:

- a. Section 3-29-03-05 regulates open space requirements in PUDs.
- b. **A minimum of 30% open space shall be required in all PUDs. The FDP states approximately 35% is provided; however, the FDP does not include diagrams and tables to show conformance with this requirement, including 25% active recreation requirements.**
- c. Consider utilizing Section 4-07-02-02-02 as landscape requirements for individual lots (attached).

- d. **Please include details for individual lot landscape and right-of-way landscape along internal streets.**

PLN9. Development Standards:

- a. Required covered porches
- b. Maximum residential building height-40' (R-1-C zone district maximum 25'). **Please explain maximum height request.**
- c. Proposed front setback (5')/ Side (3')/ rear (4-10'). **Staff has concerns with proposed side setbacks.**
- d. **Accessory structure standards are not included.**

PLN10. Subdivision Design Standards

- a. ROW landscape does not indicate the minimum required 50% living ground cover in addition to trees/shrubs.
- b. Please provide detail on detention pond landscape (Section 5-03-05-03).
- c. Please provide noxious weed management plan (Section 5-03-05-05).
- d. Corner lots in the subdivision do not conform to Section 5-03-03-07 (must be wider to accommodate setbacks).
- e. Proposed 5' concrete trail connection conforms to Section 5-03-07 (Pedestrian System and Access Design).

PLN11. Parking:

- a. Minimum 2 car garage per dwelling.
- b. **Please provide parking ratio and parking diagram.**

PLN12. Fencing:

- a. Section 5-03-07-03, berms and landscape are preferred.
- b. Proposed 3.5' rail fencing along frontage and 6' solid cedar fencing for privacy.
- c. No concerns.

PLN13. Other:

- a. Please describe the CC & RS before using the acronym.
- b. Proposed housing types include single family detached front and rear loaded. **Please update Sheet reference numbers on Sheet 2, Section D.**
- c. Community characteristics/requirements shall comply with Design Review Committee; however Section L. indicates there is no DRC. **Section L and M are conflicting.**
- d. **Planning Director approval for overall architectural intent? Section K indicates a variety of styles...what are the parameters? These should be defined, not left to Director/administrative approval.**
- e. **Please define proposed outdoor storage and purpose.**
- f. **Access and Maintenance Easements: Clear Creek Station Metro District?**
- g. **Remove option to reduce building separation less than 10'**

- h. **Explain purpose of side yard use easements.**
- i. **Repetition of several sections. See highlighted document.**
- j. **Staff has concerns with blank elevations (i.e. no windows).**

**Commenting Division: Development Services, Engineering:**

**Name of Review:** Matt Emmens

**Email:** [memmens@adcogov.org](mailto:memmens@adcogov.org)

Pending completion of plans review.

**Commenting Division: Development Services, Right-Of-Way**

**Name of Review:** Bob Kovacs

**Email:** [rkovacs@adcogov.org](mailto:rkovacs@adcogov.org)

ROW1:

Addresses provided for Filing 1, Block 1 lots one, two and three are based upon the assumption that these lots will not directly access a maintained County right-of-way. If this is incorrect, get back in touch with County and we can adjust these addresses.

ROW2: Remove indications of improvements shown on plats. However, leave all references to and line work indicative of easements as shown.

ROW3: Provide the following drainage easement note:

“The policy of the County requires that maintenance access shall be provided to all storm drainage facilities to assure continuous operational capability of the system. The property owners shall be responsible for the maintenance of all drainage facilities including inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on their land unless modified by the subdivision development agreement. Should the owner fail to maintain said facilities, the County shall have the right to enter said land for the sole purpose of operations and maintenance. All such maintenance cost will be assessed to the property owners.”

ROW4: Provide the following note and show graphically on lots throughout plat:

“Six-foot (6') wide dry utility easements are hereby dedicated on private property adjacent to the front lot lines of each lot in the subdivision. In addition, eight-foot (8') wide dry utility easements are hereby dedicated around the perimeter of tracts, parcels and/or open space areas. These easements are dedicated to Adams County for the benefit of the applicable utility providers for the installation, maintenance, and replacement of electric, gas, television, cable, and telecommunications facilities (Dry Utilities). Utility easements shall also be granted within any access easements and private streets in the subdivision. Permanent structures, improvements, objects, buildings, wells, water meters and other objects that may interfere with the utility facilities or use thereof (Interfering Objects) shall not be permitted within said utility easements

and the utility providers, as grantees, may remove any Interfering Objects at no cost to such grantees, including, without limitation, vegetation.”

ROW5: Provide a note or table stating the purpose, maintenance responsibility and ownership of all tracts.

ROW6: Following corrections return the plats for additional review.

**Commenting Division: Building Safety**

**Name of Review:** Justin Blair

**Email:** [jblair@adcogov.org](mailto:jblair@adcogov.org)

BSD1- Given the numerous issues encountered with allowing a 3' setback from the building codes, I recommend requiring a minimum 5' setback to include any roof overhangs. This would allow and align with the Development Standards of maintaining a minimum of 10' between structures.

BSD2- Language in the PUD regarding side use easement should include specific requirements to prohibit any combustible construction of decks, or other elements to include vegetation. There should also be language stating that improvements can only be made up to the property line, and shall not extend across the property line.

**Commenting Division: Parks and Open Space**

**Name of Review:** Aaron Clark

**Email:** [aclark@adcogov.org](mailto:aclark@adcogov.org)

No Comment.

## Emily Collins

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**From:** Jennifer Lothrop  
**Sent:** Friday, March 18, 2016 4:10 PM  
**To:** Emily Collins  
**Cc:** Brigitte Grimm  
**Subject:** PRC2016-00004 POPONIO TERRANCE FILING 1&2  
**Attachments:** PRC2016-00004 Pomponio Terrace\_Request for Comments (2).pdf

Case Name: POMPONIO TERRANCE FILING 1 & 2  
Case Number: PRC2016-00004  
Parcel #'s 0182505100028 and 0182505100029

The above mentioned parcels are paid in full, therefore, the Treasurer's Office has no negative input regarding this request.

### Jennifer Lothrop

Treasurer Technician

Adams County Treasurer's Office  
4430 S. Adams County Pkwy., Ste. C2436  
Brighton, CO 80601  
720.523.6761 | [www.adcotax.com](http://www.adcotax.com)  
Mon. - Fri. 7am - 5pm



Adams County Mission  
To responsibly serve the Adams County Community with integrity and innovation.





# COLORADO

## Parks and Wildlife

Department of Natural Resources

Northeast Regional Office  
6060 Broadway  
Denver, CO 80216  
P 303.291.7227 | F 303.291.7114

April 1, 2016

Ms. Emily Collins  
Adams County Community and Economic Development Department  
4430 South Adams County Parkway, 1<sup>st</sup> Floor, Suite W200  
Brighton, CO 80601

RE: Pomponio Terrace Filing 1&2, PRC2016-00004

Dear Ms. Collins:

Thank you for the opportunity to comment on the Pomponio Terrace Filing 1&2, located southeast of the intersection of Federal Boulevard and West 70<sup>th</sup> Avenue, proposing the construction of 121 single family residential dwellings on approximately 22 acres.

The mission of Colorado Parks and Wildlife (CPW) is to perpetuate the wildlife resources of the state, to provide a quality state parks system, and to provide enjoyable and sustainable outdoor recreation opportunities that educate and inspire current and future generations to serve as active stewards of Colorado's natural resources. Our goal in responding to land use proposals such as this is to provide complete, consistent, and timely information to all entities who request comment on matters within our statutory authority. Current CPW policy directs our efforts towards proposals that will potentially have high impacts to wildlife and wildlife habitat. The emphasis of CPW's concerns is on large acreages, critical habitats, wildlife diversity, and impacts to species of special concern, or those that are state or federally endangered.

District Wildlife Manager Jordan Likes recently visited the site. The currently undeveloped parcel of land consists of agricultural fields surrounded by developed lands. Due to the size of the parcel and the adjacent development, the potential impacts of this proposed development may be characterized as minimal.

This may not mean that the landscape has no value to wildlife or value to the community. It is important to remember that incremental and cumulative loss of natural areas and open spaces will, over time, significantly degrade the overall quality of wildlife habitat in the area. Please contact us if we can be of assistance in implementing your proposal to minimize negative impacts and maximizing potential enhancements to support living with wildlife in our community. If you have any further questions, please contact District Wildlife Manager Jordan Likes at 303.291.7135.

Sincerely,

Liza Hunholz  
Area Wildlife Manager

Cc: S. Yamashita, T. Kroening, J. Likes,





# COLORADO GEOLOGICAL SURVEY

1801 19th Street  
Golden, Colorado 80401



Karen Berry  
State Geologist

April 6, 2015

Emily Collins  
Adams County  
Community & Economic Development Department  
4430 S. Adams County Parkway, Suite W2000A  
Brighton, CO 80601-8216

**Location:**  
E $\frac{1}{2}$  Section 5,  
T3S, R68W, 6<sup>th</sup> P.M.  
39.8208, -105.0191

**Subject: Pomponio Terrace – Final Development Plan (FDP), Final Plat, and SIA for Filings 1 and 2 Case Number PRC2016-00004; Adams County, CO; CGS Unique No. AD-15-0013**

Dear Ms. Collins:

Colorado Geological Survey has reviewed the Pomponio Terrace final development plan (FDP) for 121 lots on 21.4 acres, and major subdivision (final plat) for 69 lots on 11.215 acres and 52 lots on 7.985 acres. CGS previously reviewed the proposed Pomponio Terrace project; our comments were discussed in letters dated November 13, 2014 and January 12, 2015. With this referral, we received a Request for Comments (March 15, 2016), a Submittal Item 3 Written Explanation – Pomponio Terrace Filings One and Two (undated), an Overall Site Plan (EES, March 4, 2016), a set of Final Development Plans (EES, March 9, 2016), and final plats for Filings No. 1 and No. 2 (Foresight West Surveying, Inc., March 8, 2016). The currently proposed density and land use appear to be generally consistent with what CGS previously reviewed, and no new geologic or geotechnical information was submitted. CGS's original comments therefore remain valid:

Cesare, Inc.'s September 17, 2014 geotechnical report contains a valid description of surface and subsurface conditions, and provides appropriate *preliminary* recommendations for mitigating the site's moderately to highly expansive clay soils. I agree that overexcavation, as described on pages 3 and 4 of Cesare's report, will be necessary to lower the swell potential and reduce the risk of differential heave and structural damage. Water injection is a less consistent, less reliable method of "pre-swelling" the site soils.

Once overexcavation, if performed, and site grading are complete, additional, lot-specific geotechnical investigations will be needed to better characterize soil engineering properties such as expansion/consolidation potential, density, strength and allowable bearing pressures. This information will be needed to verify that swell potentials have been sufficiently reduced, and to design individual foundations, floor systems, subsurface drainage, and pavements.

Provided Cesare's recommendations for overexcavation and additional, lot-specific investigations are correctly implemented, the site does not present any geologic hazards or development constraints that would preclude the proposed use and density. **CGS therefore has no objection to approval of the FDP and major subdivision (final plat) as proposed.**

Thank you for the opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jill Carlson', is written over a white background.

Jill Carlson, C.E.G.  
Engineering Geologist



April 5, 2016

Emily Collins  
Community and Economic Development  
4430 South Adams County Parkway  
1<sup>st</sup> Floor, Suite W2000A  
Brighton CO 80601-8216

RE: Pomponio Terrance Filing 1 and 2, PRC2016-00004  
TCHD Case No. 3842

Dear Ms. Collins:

Thank you for the opportunity to review and comment on the proposed Final Development Plan, Major Subdivisions and Subdivision Improvement Agreement for the property located at along West 70<sup>th</sup> Avenue east of Federal Boulevard. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and has the following comments.

#### **Closed Landfill**

According to TCHD's records, there is a closed landfill located on the subject property. Flammable gas from decomposing organic matter in old landfills may travel up to 1,000 feet from the source. Because construction is planned on this property, we recommend the following:

1. A flammable gas investigation should be conducted to determine if flammable gas (methane) is present in the subsurface soils at the property. The plan for the investigation should be submitted to Tri-County Health Department (TCHD) for review and approval.
2. TCHD will review the results of the investigation. If the investigation indicates that methane is not present at or above 20% of the lower explosive limit for methane (1% by volume in air) in the soils, no further action is required.

In lieu of the investigation, a flammable gas control system shall be designed and constructed to protect buildings and subsurface access to utilities, i.e. vaults, manholes, etc. from flammable gas. Health and safety practices shall be followed during construction to protect site workers. A copy of TCHD guidelines for safe construction in areas on or near former landfills has been attached.

#### **Community Design for Active Living**

Because chronic diseases related to physical inactivity and obesity now rank among the country's greatest public health risks, TCHD encourages community designs that make it easy for people to include regular physical activity, such as walking and bicycling, in their daily routines. Neighborhoods best encourage residents to walk and/or bicycle as part of their daily routine when they contain a system of well-designed sidewalks and trails that connect with destinations in and adjacent to the community.

TCHD commends the applicant for the connection from the development to the Little Dry Creek Trail mentioned in the application narrative. It was not clear from the application materials what

April 5, 2016

Page 2 of 2

is planned for other pedestrian facilities throughout the development. Designers of "active living" communities typically recommend that sidewalks be a minimum of clear width of five feet, the space needed for two people to walk comfortably side by side, with a buffer area like a tree lawn between the sidewalk and the street. For connections that anticipate both pedestrian and bicyclists, eight-foot wide sidewalks are recommended.

#### **Existing On-Site Wastewater Treatment System**

TCHD has a record of permitting an On-Site Wastewater Treatment System (OWTS) a residence at 6856 Federal Boulevard. The plan indicates that the buildings on that property will be removed. Consequently, the OWTS will need to be properly abandoned. Proper abandonment of the OWTS requires the following:

- Confirming that the tank is empty. If any liquids remain in the tank, the tank shall be pumped dry by a system cleaner licensed by TCHD
- Once the septic tank has been pumped dry, it may either be backfilled with soil, crushed and buried on the site, or excavated and disposed in a permitted solid waste disposal facility.
- Provide written notification of the abandonment to TCHD

Please feel free to contact me at (720) 200-1571 or [slynch@tchd.org](mailto:slynch@tchd.org) if you have any questions.

Sincerely,



Sheila Lynch  
Land Use Program Coordinator  
Tri-County Health Department

CC: Monte Deatrich, Sheila Lynch, TCHD

## Emily Collins

---

**From:** Doug Hall  
**Sent:** Tuesday, April 05, 2016 3:50 PM  
**To:** Emily Collins  
**Subject:** RE: PRC2016-00004 Pomponio Terrace FDP Request for Comments

Ms. Collins, thank you for the opportunity to review and comment on the Pomponio Terrace project.

Just wanted to let you know I have nothing of substantial value to offer regarding this project.

Again, thanks and I wish you the best.

Doug Hall – Fire Chief  
City of Westminster, CO  
303 658-4542  
[dhall@cityofwestminster.us](mailto:dhall@cityofwestminster.us)  
Website: <http://www.ci.westminster.co.us/Safety/FireDepartment.aspx>

*Westminster: The Next Urban Center of the Colorado Front Range*

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**From:** Emily Collins [<mailto:ECollins@adcogov.org>]  
**Sent:** Tuesday, March 15, 2016 2:10 PM  
**To:** 'Chris Wilder' <[cwilder@acfpd.org](mailto:cwilder@acfpd.org)>; 'brandyn.wiedrich@centurylink.com' <[brandyn.wiedrich@centurylink.com](mailto:brandyn.wiedrich@centurylink.com)>; 'tony.waldron@state.co.us' <[tony.waldron@state.co.us](mailto:tony.waldron@state.co.us)>; 'svsellers@hotmail.com' <[svsellers@hotmail.com](mailto:svsellers@hotmail.com)>; 'bradley.sheehan@dot.state.co.us' <[bradley.sheehan@dot.state.co.us](mailto:bradley.sheehan@dot.state.co.us)>; 'caryb.pilon@state.co.us' <[caryb.pilon@state.co.us](mailto:caryb.pilon@state.co.us)>; 'joe.padia@state.co.us' <[joe.padia@state.co.us](mailto:joe.padia@state.co.us)>; 'CGS\_LUR@mines.edu' <[CGS\\_LUR@mines.edu](mailto:CGS_LUR@mines.edu)>; 'thomas\_lowe@cable.comcast.com' <[thomas\\_lowe@cable.comcast.com](mailto:thomas_lowe@cable.comcast.com)>; 'patrickstock@crestviewwater.net' <[patrickstock@crestviewwater.net](mailto:patrickstock@crestviewwater.net)>; 'Sharon Whitehair' <[sharonwhitehair@gmail.com](mailto:sharonwhitehair@gmail.com)>; 'tbarnhart@hylandhills.org' <[tbarnhart@hylandhills.org](mailto:tbarnhart@hylandhills.org)>; 'csimmonds@mwr.d.dst.co.us' <[csimmonds@mwr.d.dst.co.us](mailto:csimmonds@mwr.d.dst.co.us)>; 'danmicek@comcast.net' <[danmicek@comcast.net](mailto:danmicek@comcast.net)>; 'chris.quinn@rtd-denver.com' <[chris.quinn@rtd-denver.com](mailto:chris.quinn@rtd-denver.com)>; 'mary.c.dobyns@usps.gov' <[mary.c.dobyns@usps.gov](mailto:mary.c.dobyns@usps.gov)>; 'George, Donna L' <[Donna.L.George@xcelenergy.com](mailto:Donna.L.George@xcelenergy.com)>; 'westadamscd@gmail.com' <[westadamscd@gmail.com](mailto:westadamscd@gmail.com)>; 'lbroten@tchd.org' <[lbroten@tchd.org](mailto:lbroten@tchd.org)>; 'Land Use' <[LandUse@tchd.org](mailto:LandUse@tchd.org)>; Walsh, Andy <[awalsh@CityofWestminster.us](mailto:awalsh@CityofWestminster.us)>; Cummins, Mac <[mcummins@CityofWestminster.us](mailto:mcummins@CityofWestminster.us)>; 'jpeterson@adams50.org' <[jpeterson@adams50.org](mailto:jpeterson@adams50.org)>; Hall, Doug <[DHall@CityofWestminster.us](mailto:DHall@CityofWestminster.us)>  
**Cc:** Justin Blair <[jblair@adcogov.org](mailto:jblair@adcogov.org)>; Eric Guenther <[EGuenther@adcogov.org](mailto:EGuenther@adcogov.org)>; Matthew Emmens <[MEmmens@adcogov.org](mailto:MEmmens@adcogov.org)>; Robert Kovacs <[RKovacs@adcogov.org](mailto:RKovacs@adcogov.org)>; Christine Francescani <[CFrancescani@adcogov.org](mailto:CFrancescani@adcogov.org)>; Aaron Clark <[AClark@adcogov.org](mailto:AClark@adcogov.org)>; Lynn Obremski <[LObremski@adcogov.org](mailto:LObremski@adcogov.org)>; Brigitte Grimm <[BGrimm@adcogov.org](mailto:BGrimm@adcogov.org)>; Mark Moskowitz <[MMoskowitz@adcogov.org](mailto:MMoskowitz@adcogov.org)>; Nikki Blair <[NBlair@adcogov.org](mailto:NBlair@adcogov.org)>; Amanda Overton <[AOverton@adcogov.org](mailto:AOverton@adcogov.org)>; Michael Kaiser <[MKaiser@adcogov.org](mailto:MKaiser@adcogov.org)>; Jen Rutter <[JRutter@adcogov.org](mailto:JRutter@adcogov.org)>  
**Subject:** PRC2016-00004 Pomponio Terrace FDP Request for Comments

Good Afternoon,

Please review the attached Request for Comments for the case listed above. The referral agency deadline date is **4/5/2016**. If you have any additional questions please contact me at 720.523.6820.

Thank you,

## Emily Collins

---

**From:** McConnell, John [jmconne@CityofWestminster.us]  
**Sent:** Tuesday, April 05, 2016 5:11 PM  
**To:** Emily Collins  
**Subject:** Comments for PRC2016-00004 Pomponio Terrace Filing 1 & 2

Dear Ms. Collins,

Please accept the following comments from the City of Westminster regarding the above-referenced project:

The City of Westminster fully appreciates and supports well-designed developments such as the one proposed for this site. However, in an effort to further coordinate the ongoing efforts of Westminster, Adams County, and CDOT to appropriately plan future intersections and traffic signals along Federal Boulevard, the City would prefer that the main access to this development occur via a westward extension of 69<sup>th</sup> Avenue rather than the proposed route of existing 70<sup>th</sup> Avenue so that all affected parties could be united in embracing a traffic signal at 69<sup>th</sup> Avenue, otherwise known as Westminster Station Drive. This preferred alignment would not only better facilitate the location of said signal, but would provide more direct vehicle and pedestrian access from the proposed development to the new Westminster Station. In our opinion, this would be an incredibly valuable asset to the future residents of the Pomponio Terrace neighborhood. That being said, the City of Westminster is ready and willing to discuss any reasonable partnership opportunities that would accomplish this result while also satisfying the developer's needs and desires. We value our long-standing relationship with Adams County and look forward to working toward a solution that all parties can agree with. Please do not hesitate to contact me if you have any questions or would like to discuss this matter further.

Respectfully submitted,

**John McConnell, AICP** | Acting Principal Planner | City of Westminster Community Development | 4800 W. 92nd Ave.,  
Westminster, CO 80031 |  
V: 303.658.2474  
Email: [jmconne@cityofwestminster.us](mailto:jmconne@cityofwestminster.us)

City Hall Hours:  
Monday - Thursday 7:00 am to 6:00 pm (Closed Fridays)



**WESTMINSTER**



## Request for Comments

Case Name:	POMPONIO TERRANCE FILING 1 & 2
Project Number:	PRC2016-00004

March 15, 2016

Adams County Planning Commission is requesting comments on the following request:

- 1) **Final Development Plan (FDP) to allow 121 lots on approximately 21.4 acres in the P-U-D, Planned Unit Development zone district;**
- 2) **Major Subdivision (Final Plat) to create 69 lots on approximately 11.215 acres in the P-U-D, Planned Unit Development zone district;**
- 3) **Major Subdivision (Final Plat) to create 52 lots on approximately 7.985 acres in the P-U-D, Planned Unit Development zone district;**
- 4) **Subdivision Improvement Agreement (SIA) for Filing No.1;**
- 5) **Subdivision Improvement Agreement (SIA) for Filing No. 2.**

This request is located at 6856 FEDERAL BLVD

The Assessor's Parcel Number is 0182505100028, 0182505100029

Applicant Information: POMPONIO TERRANCE HOLDINGS LLC  
ATTN JAMES R MERLINO  
1140 US HIGHWAY 287 APT 400-125  
BROOMFIELD, CO 800207080

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or (720) 523-6800 by **4/5/2016** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to [ECollins@adcogov.org](mailto:ECollins@adcogov.org).

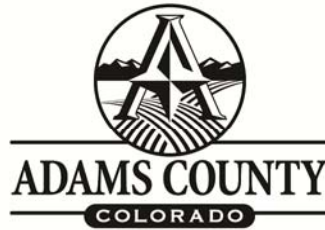
Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases).

Thank you for your review of this case.

Emily Collins  
Case Manager





## Public Hearing Notification

Case Name:	Pomponio Terrace Filing 1 and 2
Case Number:	PRC2016-00004
Board of County Commissioners Hearing Date:	October 4, 2016 at 5:30 PM

August 26, 2016

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following request:

**1) Final Development Plan (FDP) to allow 126 lots on approximately 21.4 acres in the P-U-D, Planned Unit Development zone district; 2) Major Subdivision (Final Plat) to create 74 lots on approximately 11.791 acres in the P-U-D, Planned Unit Development zone district; 3) Major Subdivision (Final Plat) to create 52 lots on approximately 8.323 acres in the P-U-D, Planned Unit Development zone district; 4) Subdivision Improvement Agreement (SIA) for Filing No.1; and 5) Subdivision Improvement Agreement (SIA) for Filing No. 2.**

This request is located at 6856 FEDERAL BLVD-, CO 000000000

The Assessor's Parcel Number(s) 0182505100028, 0182505100029

Applicant Information: POMPONIO TERRACE HOLDINGS LLC  
ATTN JAMES R MERLINO  
1140 US HIGHWAY 287 APT 400-125  
BROOMFIELD, CO 800207080

The hearing will be held in the Adams County Hearing Room located at 4430 South Adams County Parkway, Brighton CO 80601-8216. This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. If you require any special accommodations (e.g., wheelchair accessibility, an interpreter for the hearing impaired, etc.) please contact the Adams County Planning and Development Department at (720) 523-6800 (or if this is a long distance call, please use the County's toll free telephone number at 1-800-824-7842) prior to the meeting date.

For further information regarding this case, please contact the Department of Planning and Development, 4430 S Adams County Parkway, Brighton, CO 80601, 720-523-6800. This is also the location where maps and/or text certified by the Planning Commission may be viewed. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases).

Emily Collins  
Case Manager

# CERTIFICATE OF POSTING



I, Emily Collins do hereby certify that I had the property posted at

6856 Federal Blvd.

on September 23, 2016

in accordance with the requirements of the Adams County Zoning Regulations

*Emily Collins*

Emily Collins

2661 W 65TH PLACE LLC  
PO BOX 1500  
ARVADA CO 80001-1500

ADAMS COUNTY  
4430 SOUTH ADAMS COUNTY PKWY  
BRIGHTON CO 80601-8204

2812 W 66TH LLC  
1170 CAMINO MELENO  
SANTA BARBARA CA 93111-1005

AGUILAR ELENA  
11664 GRANT ST  
NORTHGLENN CO 80233-2006

6860 FEDERAL BOULEVARD LLC  
2471 S JOSEPHINE ST  
DENVER CO 80210-5413

ALBERT SAM E  
2650 FERN DR  
WESTMINSTER CO 80030-5649

6990 FEDERAL BLVD LLC  
2471 S JOSEPHINE ST  
DENVER CO 80210-5413

ALCANTAR SALVADOR  
7051 CANOSA CT  
WESTMINSTER CO 80030-5638

A & G PAYAN LLC  
6642 DECATUR ST  
DENVER CO 80221-2228

ALTO PARTNERS LLLP  
C/O HOUSING AUTHORITY OF THE COUNTY OF A  
7190 COLORADO BLVD  
COMMERCE CITY CO 80022-1812

ABEYTA JUAN ESTEVAN AND  
ABEYTA KENIA MARGARETT  
7021 BEACH ST  
WESTMINSTER CO 80030-5626

ANCELL NANCY A  
7010 BRYANT WAY  
WESTMINSTER CO 80030-5637

ABEYTA KENNETH ALLEN JR  
7030 BEACON WAY  
WESTMINSTER CO 80030-5631

ANDERSON MARGARITA  
7010 BEACH ST  
WESTMINSTER CO 80030-5627

ACEVEDO ANA B  
7001 BEACH ST  
WESTMINSTER CO 80030-5626

ARAGON SYLVIA  
1390 SHERIDAN BLVD  
DENVER CO 80214-3009

ACEVEDO SOTO ANA C AND ACEVEDO SOTO  
LLUVIA A AND REYES GONZALEZ CESAR  
7000 BEACH ST  
WESTMINSTER CO 80030-5627

ARCHDIOCESE OF DENVER THE  
OUR LADY OF VISITATION  
1300 SOUTH STEELE STREET  
DENVER CO 80210

ACKLAND LINDA KAY AND  
ACKLAND EDWARD C  
7031 BRYANT WAY  
WESTMINSTER CO 80030-5636

ARCHULETA JOSEPH AND  
ARCHULETA KATY E  
2621 W 65TH PLACE  
DENVER CO 80221

ARCHULETA SONYA R  
6970 CLAY ST  
WESTMINSTER CO 80030-5643

BERGONDO WILLIAM T AND  
BERGONDO LYNDA J  
7068 BEACON WAY  
WESTMINSTER CO 80030-5631

ARELLANO SUSANO HERRERA  
7000 CLAY ST  
WESTMINSTER CO 80030-5645

BLEA ERIC E  
2640 FERN DR  
WESTMINSTER CO 80030-5649

ARIAS ROGELIO AND  
ARIAS LUZ E  
6786 GREEN CT  
DENVER CO 80221-2632

BONNER DONALD L AND  
BONNER DEBRA L  
7041 CANOSA COURT  
WESTMINSTER CO 80030

BAILEY COMPANY THE  
C/O SAVAGE SAVAGE & BROWN INC  
PO BOX 22845  
OKLAHOMA CITY OK 73123-1845

BOVA MARY  
7169 FEDERAL BLVD  
WESTMINSTER CO 80030

BARRIOS MIGUEL GUERRERO AND  
RAMIREZ SILVIA LOPEZ  
2820 W 67TH PL  
DENVER CO 80221-2226

BPI WESTMINSTER LLC  
2880 BRYANT ST  
DENVER CO 80211-4223

BARTLETT BARBARA RANDALL 1/3 INT AND  
HOLLE ERVIN K 1/3 AND RADIC PERRY A 1/3  
2404 N RIO GRANDE AVE  
ORLANDO FL 32804-4828

BROCKER D PAUL 1/3 AND WEBBER KAREN 1/3  
AND REDMOND MICHAEL J 1/3  
3333 REGIS BLVD  
DENVER CO 80221-1154

BAYLON JOSE MIGUEL AND  
BAYLON MARTHA  
6760 GREEN CT  
DENVER CO 80221-2632

BROSAM DEWEY L  
7070 CLAY ST  
WESTMINSTER CO 80030-5645

BAYLON JOSE MIGUEL JR  
6771 GREEN CT  
DENVER CO 80221-2631

BUDESELICH KRISTY L  
2843 W 67TH PL  
DENVER CO 80221

BAYLON MARTHA  
6770 GREEN CT  
DENVER CO 80221-2632

BUENO GINA  
7080 CLAY ST  
WESTMINSTER CO 80030-5645

BB 1 LLC  
2700 S BROADWAY  
ENGLEWOOD CO 80113-1523

BUI AN TAN  
7000 BEACON WAY  
WESTMINSTER CO 80030-5631

BURDICK MARY J  
2680 FERN DR  
WESTMINSTER CO 80030

CITY OF WESTMINSTER  
4800 W 92ND AVE  
WESTMINSTER CO 80031-6387

BURKEY WALTER G TRUSTEE FOR THE  
BURKEY WALTER G TRUST  
12021 PENN STREET #102  
THORNTON CO 80241

CITY OF WESTMINSTER  
4800 W 92ND AVE  
WESTMINSTER CO 80030-6399

BYER LOUIS CHARLES LIVING TRUST THE  
2705 W 66TH PL  
DENVER CO 80221

CITY OF WESTMINSTER THE  
4800 W 92ND AVE  
WESTMINSTER CO 80031-6387

CARBAJAL SERGIO AND  
LAZARO BUENAVENTURA  
2690 FERN DR  
WESTMINSTER CO 80030-5649

CITY OF WESTMINSTER THE  
4800 W 92ND AVE  
WESTMINSTER CO 80031-6399

CARLSON CLAY AND CARLSON SCOTT L AND  
CARLSON KENT D AND CARLSON RYAN L  
12460 1ST STREET PO BOX 247  
EASTLAKE CO 80614-0247

COELHO JAMES R  
2701 W 66TH PL  
DENVER CO 80221-2217

CATALANO MARI E  
7101 CLAY ST  
WESTMINSTER CO 80030-5646

COLORADO HOSPITALITY SERVICES INC  
10 E 120TH AVE  
NORTHGLENN CO 80233-1002

CENTENO JOSEPHINE  
5782 W 80TH CIR  
ARVADA CO 80003-1847

COLORADO SOUND  
RECORDING LTD  
3100 W 71ST AVE  
WESTMINSTER CO 80030-5439

CHAO YU LING SARA  
7040 BEACON WAY  
WESTMINSTER CO 80030-5631

COYLE WILLIAM  
18199 E 160TH AVE  
BRIGHTON CO 80601

CHAVEZ NOEL  
7020 BEACON WAY  
WESTMINSTER CO 80030-5631

CREASON MERLIN L  
7021 ALCOTT ST  
WESTMINSTER CO 80030-5622

CHRISTENSEN PETER K  
7240 W CUSTER AVE NO 302  
LAKEWOOD CO 80226-2779

CRESTVIEW WATER AND SANITATION DISTRICT  
PO BOX 21299  
DENVER CO 80221-0299

CROWDER DANIEL  
906 W 69TH AVE  
DENVER CO 80221-7045

FLATS AT MIDTOWN LLC AND  
UVECTOR NORTH GATE LLC  
3595 S TELLER ST STE 301  
LAKEWOOD CO 80235-2029

CUBIAS REINA E  
7060 CANOSA CT  
WESTMINSTER CO 80030-5639

FLOTTE DEBRA  
2570 FERN DR  
WESTMINSTER CO 80030-5648

DAVIS MARILLOIS J  
2670 FERN DR  
WESTMINSTER CO 80030-5649

FORD ALBERT J  
2840 W 67TH PL  
DENVER CO 80221-2226

DEEMS RICHARD AND  
MS KARRON  
2833 W 67TH PLACE  
DENVER CO 80221

FOX DAVID D AND FOX NANCY S  
2520 W 66TH PL  
DENVER CO 80221-2214

DELGADO GLORIA AND  
DELGADO DARIO  
7011 CLAY ST  
WESTMINSTER CO 80030-5644

FRAZIER GARY W  
2703 W 66TH PL  
DENVER CO 80221-2217

DILLARD DAVID  
PO BOX 242  
DENVER CITY TX 79323-0242

GALLEGOS SHAWN J  
7061 BRYANT WAY  
WESTMINSTER CO 80030-5636

DURAN BONIFACIO E AND  
DURAN ANNETTE D  
2792 W 66TH PL  
DENVER CO 80221-2218

GARCIA JEANIE MAE  
2660 FERN DR  
WESTMINSTER CO 80030-5649

DUZENACK CELINE T  
7031 BEACON WAY  
WESTMINSTER CO 80030-5630

GARCIA JUAN  
3120 W 71ST AVE  
WESTMINSTER CO 80030

EQUITY TRUST COMPANY  
2841 W 66TH PL  
DENVER CO 80221-2219

GARCIA MANUEL AND  
GARCIA MARGARITA  
990 HAZEL COURT  
DENVER CO 80204

FAIRBANKS LINDA M AND  
TRUJILLO RAYMOND G  
2760 W 66TH PLACE  
DENVER CO 80221

GARCIA MARTIN  
7021 BRYANT ST  
WESTMINSTER CO 80030



GARDUNO JASON  
7071 BEACH ST  
WESTMINSTER CO 80030-5626

GONZALEZ PEDRO JAUREGUI AND  
GONZALEZ CAROLINA DE JAUREGUI  
7067 BEACON WAY  
WESTMINSTER CO 80030-5630

GARTZ KEVIN  
2740 W 66TH PL  
DENVER CO 80221

GOODWILL INDUSTRIES OF DENVER  
6850 FEDERAL BLVD  
DENVER CO 80221

GERBER DANA S AND  
GERBER TRISHA  
7011 ALLCOTT STREET  
WESTMINSTER CO 80030

GOODWIN CHRISTOPHER P  
6730 GREEN CT  
DENVER CO 80221-2632

GOFORTH CHERYL A  
7050 BEACH ST  
WESTMINSTER CO 80030-5627

GOSA JOSHUA M AND  
GOSA HOLLY E  
7061 CLAY STREET  
WESTMINSTER CO 80030

GOFORTH DANO ALLEN  
2698 FERN DR  
WESTMINSTER CO 80030-5649

GRAHAM EVELYN  
7001 ALCOTT ST  
WESTMINSTER CO 80030-5622

GONZALES FRANCINE M  
2680 W 66TH PL  
DENVER CO 80221

GRIMI LLC  
1025 S MARSHALL STREET  
LAKEWOOD CO 80226

GONZALEZ CARLOS AND  
GUERRERO DIANA  
2693 W 65TH PL  
DENVER CO 80221-2201

GRISCKO APRIL D  
7111 CLAY ST  
WESTMINSTER CO 80030-5646

GONZALEZ JAVIER  
7061 CANOSA COURT  
WESTMINSTER CO 80030

GUTIERREZ EDUARDO AND MARIA ELSA  
7001 CLAY ST  
WESTMINSTER CO 80030-5644

GONZALEZ KELLY M  
6761 GREEN CT  
DENVER CO 80221-2631

HARTMAN KELLY L AND  
HARTMAN JACKIE A  
7010 CLAY ST  
WESTMINSTER CO 80030-5645

GONZALEZ OLIVIA FELIX  
7020 CLAY ST  
WESTMINSTER CO 80030-5645

HELMER JOHN M AND  
HELMER BARBARA R  
7051 BEACH ST  
WESTMINSTER CO 80030-5626

HERRERA ISIDRO AND  
RODRIGUEZ ISAIAS PADILLA  
6790 GREEN CT  
DENVER CO 80221-2632

JDRE HOLDINGS LLC  
6935 FEDERAL BLVD  
DENVER CO 80221-2629

HILLEBRAND STEPHEN  
7031 CANOSA CT  
WESTMINSTER CO 80030-5638

JESTER MICHAEL LORIN  
6720 GREEN CT  
DENVER CO 80221-2632

HOUSING AUTHORITY OF THE COUNTY OF ADAMS  
7190 COLORADO BLVD 6TH FLOOR  
COMMERCE CITY CO 80022-1812

JJLC LLC  
7151 FEDERAL BLVD  
WESTMINSTER CO 80030-5510

HOWES CARLA M AND  
HOWES TROY D  
7091 CANOSA CT  
WESTMINSTER CO 80030-5638

JONES JEFFRERY  
6700 GREEN COURT  
DENVER CO 80221

IJAMES RICHARD L AND EDWINA L TRUSTEES  
OF IJAMES LIVING TRUST  
7021 BEACON WAY  
WESTMINSTER CO 80030

KEEL RICHARD B AND  
KEEL SHARON D  
7061 BEACON WAY  
WESTMINSTER CO 80030-5630

INSKEEP CHARLES C AND  
INSKEEP CLAUDETTE M  
2620 W 66TH PL  
DENVER CO 80221-2218

KELLOGG EDWIN AND  
KELLOGG DIANE  
6961 CLAY ST  
WESTMINSTER CO 80030-5642

INSY KHAMNOUJANE  
6991 CLAY STREET  
WESTMINSTER CO 80030

KELLOGG EUGENE D  
2700 W 66TH PLACE  
DENVER CO 80221

JAIME EDI S AND  
JAIME SANDRA V  
2702 W 66TH PL  
DENVER CO 80221-2218

KHANTHAVONG KHONG AND  
LEE THAM  
6971 CLAY ST  
WESTMINSTER CO 80030-5642

JAMSAY RAYMOND JR AND  
JAMSAY JUDITH A  
7031 CLAY ST  
WESTMINSTER CO 80030-5644

KOLB RONALD F AND KOLB DIANE H AND  
KOLB AARON M  
7071 BEACON WAY  
WESTMINSTER CO 80030-5630

JARAMILLO LUCIO AND  
JARAMILLO ELOISA M  
7091 CLAY ST  
WESTMINSTER CO 80030-5644

KRUPP, GLASSMAN AND GLASSMAN  
C/O KEN JACKSON AND ASSOCIATES  
425 S CHERRY ST SUITE 500  
DENVER CO 80246

KUNUGI JANE S  
7050 CLAY ST  
WESTMINSTER CO 80030-5645

LUCERO LORRAINE  
7071 CLAY ST  
WESTMINSTER CO 80030-5644

LA CRUE GLORIA J  
6780 GREEN CT  
DENVER CO 80221-2632

LUIS ROSA  
9230 IRVING ST  
WESTMINSTER CO 80031-2729

LARIOS ROGELIO ROSALES  
6789 GREEN CT  
DENVER CO 80221-2631

MAESTAS SANDRA  
PO BOX 2  
DUPONT CO 80024

LARSON RICHARD JOSEPH AND  
NELSON CONSTANCE MARIE  
7050 CANOSA CT  
WESTMINSTER CO 80030-5639

MAILLOUX JACQUES  
2830 W 67TH PLACE  
DENVER CO 80221

LAZCANO ADOLFO AND  
BOJA GLORIA  
7010 BEACON WAY  
WESTMINSTER CO 80030-5631

MAKUH BEN TAYLOR AND  
MAKUH KYLIE RAE  
7040 CLAY ST  
WESTMINSTER CO 80030-5645

LITTLE EARL J AND  
WARLING PATRICIA  
7030 BRYANT WAY  
WESTMINSTER CO 80030-5637

MARQUEZ DANIEL L AND  
MARQUEZ SUZANNA M  
2641 W 65TH PL  
DENVER CO 80221-2201

LIVINGSTON SHIRLEY JUNE  
7060 BEACON WAY  
WESTMINSTER CO 80030-5631

MARQUEZ JAMES VICTOR AND  
MARQUEZ LISA K  
2661 W 66TH PL  
DENVER CO 80221

LOERA DE GURROLA MARIA /LOERA MANUEL AND  
GURROLA TOCA JOSE MANUEL  
2630 FERN DR  
WESTMINSTER CO 80030-5649

MARTINEZ ANTHONY AND  
MARTINEZ TINA R  
7051 CLAY ST  
WESTMINSTER CO 80030-5644

LOPEZ JOSEPH AND LOPEZ TOBIAS D AND  
LOPEZ SERBULA M  
2710 W 66TH PL  
DENVER CO 80221-2218

MARTINEZ DAMARIS  
3613 S FLANDERS ST  
AURORA CO 80013-3949

LOPEZ SERBULA M AND  
LOPEZ TOBIAS DAVID  
2710 W 66TH PL  
DENVER CO 80221-2218

MARTINEZ JAMES P  
2850 W 66TH PL  
DENVER CO 80221

MARTINEZ TRINIDAD B  
6950 CLAY ST  
WESTMINSTER CO 80030-5643

MULLBERRY PROPERTIES LLC  
8781 SHERIDAN BLVD NO 125  
ARVADA CO 80003-1440

MATA JOSE  
2816 W 66TH PL  
DENVER CO 80221-2220

NEW DIRECTION IRA VANNA ROBBINS IRA  
1070 W CENTURY DR APT 101  
LOUISVILLE CO 80027

MATLACK ANTHONY W  
6660 DECATUR  
DENVER CO 80221

NEYENS EUGENE M  
2570 W 66TH PL  
DENVER CO 80221-2214

MAXEY STEVEN D AND  
KAISER JULIE M  
7874 S JOHNSON CT  
LITTLETON CO 80127

NGC DEVELOPMENT LLC  
2404 N RIO GRANDE AVE  
ORLANDO FL 32804-4828

MC MANAMAN JERRY LEE AND  
MC MANAMAN SHIRLEY ANN  
7090 CLAY ST  
WESTMINSTER CO 80030-5645

NGUYEN CHUAN VAN  
7031 BEACH ST  
WESTMINSTER CO 80030-5626

MEJIA ESTANISLAO PERIERA AND  
VALENCIANA NORA ELVIA RAMOS  
630 S DAYTON ST STE 7-301  
DENVER CO 80247

NORTHGATE FEDERAL LP  
2404 N RIO GRANDE AVE  
ORLANDO FL 32814

MONTOYA TROY E  
6665 DECATUR ST  
DENVER CO 80221-2227

OLIVAS DENNIS L  
7060 AVRUM DRIVE  
DENVER CO 80221

MORENO ROLANDO  
6685 DECATUR STREET  
DENVER CO 80221

OLIVAS GREGORY K  
2885 W 65TH PL UNIT A  
DENVER CO 80221-2244

MORTENSEN ROY LYNN AND  
MORTENSEN LOUETTA S  
7081 CANOSA CT  
WESTMINSTER CO 80030-5638

PADILLA AZALIA  
6981 CLAY ST  
WESTMINSTER CO 80030-5642

MOWINSKI DAN AND  
LIKENS KIMBERLY  
2581 W 66TH PL  
DENVER CO 80221-2213

PEREZ JOE F AND  
AGUIRRE ADRIANA L  
7010 CANOSA COURT  
WESTMINSTER CO 80030

PERITO GERALD CLYDE JR TRUST  
C/O TERLIYN R ASBERY  
3061 W 92ND AVE UNIT 8F  
WESTMINSTER CO 80031

RAMI INC  
PO BOX 281267  
LAKEWOOD CO 80228-8267

PETERSON DENNIS G  
2853 W 67TH PL  
DENVER CO 80221-2225

RAP WEST LLC  
C/O RAPPAPORT REAL ESTATE  
591 STEWART AVE STE 100  
GARDEN CITY NY 11530-4702

PETRALIA GEORGE  
5380 FEDERAL BLVD  
DENVER CO 80221-1143

RHINER GERALD D  
6981 FEDERAL BLVD  
DENVER CO 80221

PHILLIPS TERESA MICHELLE  
7080 BRYANT WAY  
WESTMINSTER CO 80030-5637

RIOS-ORTEGA GERZAIN  
7011 BRYANT WAY  
WESTMINSTER CO 80030-5636

PHONTAVEE BOUNCHANH C  
7070 BRYANT WAY  
WESTMINSTER CO 80030-5637

ROBINSON JAMES E AND  
ROBINSON SHARON A  
8225 W 67TH PL  
ARVADA CO 80004-3386

POMPONIO TERRACE HOLDINGS LLC  
ATTN JAMES R MERLINO  
1140 US HIGHWAY 287 APT 400-125  
BROOMFIELD CO 80020-7080

RODARTE CARMEN SILVA AND  
RODARTE PEDRO  
1447 W 101ST PL  
NORTHGLENN CO 80260-6229

PRESIDENTIAL CAPITAL CORPORATION  
C/O ROBERT W COYLE  
18199 E 160TH AVE  
BRIGHTON CO 80601

ROJO LINDA LOU  
2550 W 66TH PL  
DENVER CO 80221-2214

PURNELL JOSEPH AND  
CLOUD ERIC  
7071 BRYANT WAY  
WESTMINSTER CO 80030-5636

RSM INVESTMENT CO LLC  
1770 E 69TH AVE  
DENVER CO 80229

RAGSDALE DORIS FAMILY TRUST THE  
8610 W 32ND PL  
WHEAT RIDGE CO 80033-5941

SALVATION ARMY THE  
PO BOX 2369  
DENVER CO 80201

RAIGOSA DANIEL SR AND  
RAIGOSA OLIVIA  
2705 W 65TH PLACE  
DENVER CO 80221

SAMORA NAOMI R  
2580 FERN DR  
WESTMINSTER CO 80030-5648

SANDOVAL CLAUDIO VELASCO  
1585 S TEJON STREET  
DENVER CO 80233

STAMPFL FRANZ AND  
STAMPFL IRMA  
7041 BRYANT WAY  
WESTMINSTER CO 80030-5636

SANDOVAL DARLENE D  
7021 CANOSA CT  
WESTMINSTER CO 80030-5638

STEHLE BRANDON W  
6791 GREEN CT  
DENVER CO 80221-2631

SANDOVAL DEIDRA AND  
TORREZ GABRIEL  
21543 E 43RD AVE  
DENVER CO 80249-7276

STONEBOX 71 LLLP  
5340 WATERSTONE DR  
BOULDER CO 80301-6503

SANTELLA DONNA LYNN  
2681 W 66TH PL  
DENVER CO 80221-2217

STRONG CAPITAL V LP  
5910 NORTH CENTRAL EXPRESSWAY SUITE 1580  
DALLAS TX 75206

SCHMIDT RYAN  
7030 CLAY ST  
WESTMINSTER CO 80030-5645

TOLZMANN JUSTIN  
7011 BEACH ST  
WESTMINSTER CO 80030-5626

SCHNUR VICTOR M  
7040 BRYANT WAY  
WESTMINSTER CO 80030-5637

TRAN DUC VAN AND  
TRAN NHU THI  
6260 W 98TH DR  
WESTMINSTER CO 80021

SCHREITER THOMAS  
7060 CLAY ST  
WESTMINSTER CO 80030-5645

TUROWSKI MARK A  
7000 BRYANT WAY  
WESTMINSTER CO 80030

SIMMONS MARY E  
7020 BEACH ST  
WESTMINSTER CO 80030-5627

TWO FUSES LLC  
347 FOREST ST  
DENVER CO 80220-5752

SMITH WALTER W  
7041 BEACON WAY  
WESTMINSTER CO 80030-5630

U-STORE-IT LP  
PTA USI NO. 769  
PO BOX 320099  
ALEXANDRIA VA 22320

SOTO JESUS E AND  
SOTO LETICIA A  
19549 E 40TH PL  
DENVER CO 80249-7171

VALDEZ ADELLA/TIMOTHY/FRANCES/JOAN AND  
VALDEZ DANIEL/KATHERINE  
7160 BERTHOUD ST  
WESTMINSTER CO 80030-5633



VALLERO THOMAS J AND  
KENTNER ELIZABETH V  
2610 FERN DRIVE  
WESTMINSTER CO 80030

VILLA FRANK  
6951 CLAY ST  
WESTMINSTER CO 80030-5642

VALVERDE TRICIANN  
7081 CLAY ST  
WESTMINSTER CO 80030-5644

VON FELDT BRUCE J  
7040 BEACH ST  
WESTMINSTER CO 80030

VAN DUSEN NICHOLAS A  
7011 CANOSA CT  
WESTMINSTER CO 80030-5638

WANCZYK ROSEMARIE J  
7051 BRYANT WAY  
WESTMINSTER CO 80030-5636

VAZQUEZ JESUS AND  
RODRIGUEZ JOSE  
7041 BEACH ST  
WESTMINSTER CO 80030

WANCZYK ROSEMARIE J  
7050 BRYANT WAY  
WESTMINSTER CO 80030-5637

VENEGAS ODILON AND  
VENEGAS MARIA ISABEL GANDARA  
7041 CLAY ST  
WESTMINSTER CO 80030-5644

WELLS CHARLES J AND  
WELLS SHARON L  
2580 W 66TH PL  
DENVER CO 80221-2214

VERHEY JOAN KAY/VERHEY NICKOLAS  
BLAIR AND VERHEY WADE MERLIN  
7851 IRVING ST  
WESTMINSTER CO 80030-4230

WELLS CHARLES J AND  
WELLS SHARON  
2580 W 66TH PL  
DENVER CO 80221-2214

VERHEY RICHARD J AND  
VERHEY JANETTE M  
116 KRAMERIA ST  
DENVER CO 80220-5929

WELLS CHARLES J JR AND  
WELLS SHARON  
2580 W 66TH PLACE  
DENVER CO 80221

VERHEY RICHARD J/JANETTE M/RICHARD J  
VERHEY JANETTE M  
116 KRAMERIA ST  
DENVER CO 80220-5929

WEST ROGER A  
7081 BEACON WAY  
WESTMINSTER CO 80030-5630

VIGIL DON A  
7050 BEACON WAY  
WESTMINSTER CO 80030-5631

WESTKAMP RONALD F AND  
WESTKAMP PATRICIA A  
7001 BRYANT WAY  
WESTMINSTER CO 80030-5636

VIGIL ODELIA  
2650 W 66TH PL  
DENVER CO 80221-2218

WHITE MICHAEL AND  
MCELHINNEY SARAH  
7060 BRYANT WAY  
WESTMINSTER CO 80030

WHITMAN SHAWN A  
7071 CANOSA CT  
WESTMINSTER CO 80030-5638

YANG CHEE AND  
YANG PAZUA  
7051 BEACON WAY  
WESTMINSTER CO 80030-5630

YANG SIAGE AND YANG BLIA  
2620 FERN DR  
WESTMINSTER CO 80030-5649

Adams County  
Attn: Planning Addressing  
PLN

COLO DIV OF MINING RECLAMATION AND SAFETY  
Attn: ANTHONY J. WALDRON - SENIOR ENV  
DEPT. OF NATURAL RESOURCES  
1313 SHERMAN ST, #215  
DENVER CO 80203

Adams County Construction Inspection  
Attn: PWCI .  
PWCI

COLO DIV OF WATER RESOURCES  
Attn: Joanna Williams  
OFFICE OF STATE ENGINEER  
1313 SHERMAN ST., ROOM 818  
DENVER CO 80203

Adams County Development Services - Building  
Attn: Justin Blair  
JBlair@adcogov.org

COLO DIV OF WATER RESOURCES  
Attn: Joanna Williams  
OFFICE OF STATE ENGINEER  
1313 SHERMAN ST., ROOM 818  
DENVER CO 80203

Adams County Fire Protection District  
Attn: Marshall Fire  
8055 N. WASHINGTON ST.  
DENVER CO 80229

COLORADO DEPT OF TRANSPORTATION  
Attn: Steve Loeffler  
2000 S. Holly St.  
Region 1  
Denver CO 80222

Adams County Fire Protection District  
Attn: Marshall Fire  
8055 N. WASHINGTON ST.  
DENVER CO 80229

COLORADO GEOLOGICAL SURVEY  
Attn: Jill Carlson  
1500 Illinois Street  
Golden CO 80401

Adams County Treasurer: Send email  
Attn: Adams County Treasurer  
bgrimm@adcogov.org

Colorado Geological Survey: CGS\_LUR@mines.edu  
Attn: Jill Carlson  
Mail CHECK to Jill Carlson

Century Link, Inc  
Attn: Brandy Wiedreich  
5325 Zuni St, Rm 728  
Denver CO 80221

COMCAST  
Attn: JOE LOWE  
8490 N UMITILLA ST  
FEDERAL HEIGHTS CO 80260

CITY OF WESTMINSTER  
Attn: Andy Walsh  
4800 W 92nd Avenue  
WESTMINSTER CO 80031

COUNTY ATTORNEY- Email  
Attn: Christine Francescani  
CFrancescani@adcogov.org

CITY OF WESTMINSTER  
Attn: MAC CUMMINS  
4800 W 92ND AVE.  
WESTMINSTER CO 80031

Crestview Water & Sanitation  
Attn: Patrick Stock  
PO Box 21299  
Denver CO 80221-0299

Code Compliance Supervisor  
Attn: Eric Guenther  
eguenther@adcogov.org

Engineering Department - ROW  
Attn: Transportation Department  
PWE - ROW

Engineering Division  
Attn: Transportation Department  
PWE

TRI-COUNTY HEALTH DEPARTMENT  
Attn: MONTE DEATRICH  
4201 E. 72ND AVENUE SUITE D  
COMMERCE CITY CO 80022

GOAT HILL  
Attn: SHARON WHITEHAIR  
2901 W 63RD  
AVE SP:0047  
DENVER CO 80221

TRI-COUNTY HEALTH DEPARTMENT  
Attn: Sheila Lynch  
6162 S WILLOW DR, SUITE 100  
GREENWOOD VILLAGE CO 80111

HYLAND HILLS PARK & REC DISTRICT  
Attn: TERRY BARNHART - PLANNER  
8801 North Pecos Street  
DENVER CO 80260

Tri-County Health: Mail CHECK to Sheila Lynch  
Attn: Tri-County Health  
landuse@tchd.org

METRO WASTEWATER RECLAMATION  
Attn: CRAIG SIMMONDS  
6450 YORK ST.  
DENVER CO 80229

UNITED STATES POST OFFICE  
Attn: MARY C. DOBYNS  
56691 E COLFAX AVENUE  
STRASBURG CO 80136-8115

NS - Code Compliance  
Attn: Andy San Nicolas  
asannicolas@adcogov.org

US EPA  
Attn: Stan Christensen  
1595 Wynkoop Street  
DENVER CO 80202

Parks and Open Space Department  
Attn: Nathan Mosley  
mpedrucci@adcogov.org  
aclark@adcogov.org

WESTMINSTER FIRE DEPT.  
Attn: CAPTAIN DOUG HALL  
9110 YATES ST.  
WESTMINSTER CO 80031

PERL MACK NEIGHBORHOOD GROUP  
Attn: DAN MICEK - PRESIDENT  
7294 NAVAJO ST.  
DENVER CO 80221

WESTMINSTER SCHOOL DISTRICT #50  
Attn: Jackie Peterson  
7002 Raleigh Street  
WESTMINSTER CO 80030

REGIONAL TRANSPORTATION DIST.  
Attn: CHRIS QUINN  
1560 BROADWAY SUITE 700  
DENVER CO 80202

Xcel Energy  
Attn: Donna George  
1123 W 3rd Ave  
DENVER CO 80223

SHERIFF'S OFFICE: SO-HQ  
Attn: MICHAEL McINTOSH  
nblair@adcogov.org, aoverton@adcogov.org; mkaiser@adcog  
snielson@adcogov.org

Xcel Energy  
Attn: Donna George  
1123 W 3rd Ave  
DENVER CO 80223

Sheriff's Office: SO-SUB  
Attn: SCOTT MILLER  
TFuller@adcogov.org, smiller@adcogov.org  
aoverton@adcogov.org; mkaiser@adcogov.org



## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> November 1, 2016
<b>SUBJECT:</b> 2016 Core Services
<b>FROM:</b> Todd Leopold, County Manager; Bryan Ostler, Interim Deputy County Manager; Benjamin Dahlman, Finance Director; Kim Roland, Purchasing Manager
<b>AGENCY/DEPARTMENT:</b> Human Services Department, Division of Children & Family Services
<b>HEARD AT STUDY SESSION ON – N/A</b>
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves Agreements with Colorado Boys Ranch, Shiloh Home, Inc., Savio, Maple Star Colorado and Life Support Behavioral Institute for Core Services

### **BACKGROUND:**

In 1991, Article 5.5 was enacted to create the Colorado Family Preservation Act. The program is defined in State statutes as Family Preservation, the program is referenced in the Code of Colorado Regulations (12 CCR 2509-4) as Core Services. The Core Services Program was established within the Colorado Department of Human Services in 1994 and is statutorily mandated to provide strength-based resources and support to families when children are at imminent risk of out of home placement and/or are in need of services to maintain a least restrictive setting.

The goals of the Program are:

- Focus on the family strengths by directing intensive services that support and strengthen the family and protect the child(ren);
- Prevent out-of-home placement of the child(ren);
- Return children in placement to their own home; or,
- Unite children with their permanent families
- Provide services that protect the child(ren)

Proposals were opened on April 6, 2016, for Core Services for the 2016/2017 Program Fiscal Year. The solicitation was posted on the Rocky Mountain ePurchasing System and advertised in the Denver Post. Twenty applications were submitted for services in the following categories:

- Home Based Services
- Intensive Family Therapy
- Life Skills
- Day Treatment
- Family Team Meetings
- Sexual Abuse Treatment
- Mental Health Treatment
- Substance Abuse Treatment
- Aftercare Services
- Family Group Decision Making

The proposals were independently evaluated by three Children and Family Division employees. The proposals were evaluated on the overall merit of application, agency experience, capacity to provide proposed services to address the needs of the child welfare clients, cost, ability to provide culturally competent services, and availability of services. Ten providers submitted proposals for the type of services described in the table below and five have been selected that requires the Board's approval:

Service Provider	Type of Service	Contract Amount
Colorado Boys Ranch Golden, CO	Home Based	\$156,000 80/20% match
Shiloh Home, Inc. Littleton, CO	Home Based, Mental Health, Life Skills and Sexual Abuse	\$190,700 100 % funded
Maple Star Colorado Denver, CO	Home Based & Mental Health	\$120,000 100% funded
Savio House Denver, CO	Home Based, Sexual Abuse, Mental Health, Life Skills, Intensive Family Therapy & Substance Abuse	\$470,000 80/20% match and 100% funded
Life Support Behavioral Institute Centennial, CO	Substance Abuse	\$133,920 100 % funded
TOTAL		\$1,070,620

We will be awarding and entering into agreements with other providers who also submitted proposals for core services that do not require approval by the Board per Purchasing Policy 1010.

Services will be funded through the 2016/2017 Core Services allocation. The funding source for some services will be 80% funded by the State and 20% by Adams County.

**AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Human Services Department

**ATTACHED DOCUMENTS:**

Resolution  
Evaluation score form



**FISCAL IMPACT:**

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

<b>Fund:</b> 15
<b>Cost Center:</b> Various

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount*</b>
Current Budgeted Revenue:	5755		\$945,420
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			<u>\$945,420</u>

.....

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount^</b>
Current Budgeted Operating Expenditure:	8310		\$1,070,620
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<u>\$1,070,620</u>

**New FTEs requested:**             YES             NO

**Future Amendment Needed:**     YES             NO

**Additional Note:**

\*Up to \$945,420 (some services provided by Savio House are 80%/20% and some are 100%)

\*The expenditure amount anticipates that the CORE services allocation currently requested will be approved in the 2017 Annual Budget

**RESOLUTION APPROVING AN AGREEMENT BETWEEN ADAMS COUNTY AND THE COLORADO BOYS RANCH FOUNDATION DBA COLORADO BOYS RANCH YOUTH CONNECT, FOR HOME-BASED INTERVENTION SERVICES, FOR THE HUMAN SERVICES DEPARTMENT, CHILDREN AND FAMILY SERVICES DIVISION**

WHEREAS, Colorado Boys Ranch Foundation dba Colorado Boys Ranch Youth Connect submitted a proposal to provide home-based intervention services that can include therapeutic, concrete, collateral and crisis intervention; and,

WHEREAS, Colorado Boys Ranch Foundation dba Colorado Boys Ranch Youth Connect, agrees to provide home-based services for clients referred by the Adams County Human Services Department, Children and Family Services Division in the amount not to exceed \$156,000; and,

WHEREAS, the program services are 80% funded by the State and 20% by Adams County through the 2016/2017 Core Services allocation.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Agreement between Adams County and Colorado Boys Ranch Foundation dba Colorado Boys Ranch Youth Connect, to provide home-based intervention services for Human Services Department, Children and Family Services Division, a copy of which is attached hereto, be approved.

BE IT FURTHER RESOLVED that the Chair is hereby authorized to sign the Agreement with the Colorado Boys Ranch Foundation dba Colorado Boys Ranch Youth Connect after negotiation and approval as to form is completed by the County Attorney's Office.

**RFP # 2016.414 CORE SERVICES/HOME-BASED/LIFE SKILLS/MENTAL HEALTH/INTENSIVE FAMILY THERAPY/SUBSTANCE & SEXUAL ABUSE SERVICES**

**CONTRACTOR: Colorado Boys Ranch - Home Based Services only**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	8	8	8					24	See note below
CULTURAL COMPETANCY	15	9	9	6					24	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	24	24					72	
EXPERIENCE/REFERENCES	20	12	12	16					40	
<b>TOTALS:</b>	<b>100</b>	68	68	69	0	0	0	0	205	

**TOTAL SCORE:** 205

**TOTAL AVG. SCORE:** 68.33

**CONTRACTOR: The Curry Center**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	6	6	6					18	See note below
CULTURAL COMPETANCY	15	8	8	9					25	
COST/MEDICATE PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	18	18	18					54	
EXPERIENCE/REFERENCES	20	16	12	12					40	
<b>TOTALS:</b>	<b>100</b>	63	59	60	0	0	0	0	182	

**TOTAL SCORE:** 182

**TOTAL AVG. SCORE:** 60.67

**CONTRACTOR: Family, Advocacy, Care, Education, Support (FACES)**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	2	6	6					14	See note below
CULTURAL COMPETANCY	15	9	12	9					30	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	18	18					60	
EXPERIENCE/REFERENCES	20	4	12	12					28	
<b>TOTALS:</b>	<b>100</b>	54	63	60	0	0	0	0	177	

**TOTAL SCORE:** 177

**TOTAL AVG. SCORE:** 59.00

**CONTRACTOR: Precept Counseling**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	6	6	4					16	See note below
CULTURAL COMPETANCY	15	9	9	6					24	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	18	18	12					48	
EXPERINECE/REFERENCES	20	8	12	12					32	
<b>TOTALS:</b>	<b>100</b>	56	60	49	0	0	0	0	165	

**TOTAL SCORE:** 165

**TOTAL AVG. SCORE:** 55.00

**CONTRACTOR: Life Support Behavioral Institute - Substance Abuse only**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	8	8	6					22	See note below
CULTURAL COMPETANCY	15	9	9	6					24	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	24	18					66	
EXPERIENCE/REFERENCES	20	12	16	12					40	
<b>TOTALS:</b>	<b>100</b>	68	72	57	0	0	0	0	197	

**TOTAL SCORE:** 197

**TOTAL AVG. SCORE:** 65.67

**CONTRACTOR: Maple Star Colorado - Home Based and Mental Health only**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	4	8	6					18	See note below
CULTURAL COMPETANCY	15	9	12	9					30	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	18	18	18					54	
EXPERIENCE/REFERENCES	20	8	16	16					40	
<b>TOTALS:</b>	<b>100</b>	54	69	64	0	0	0	0	187	

**TOTAL SCORE:** 187

**TOTAL AVG. SCORE:** 62.33

**CONTRACTOR: Excelsior**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	8	8	8					24	See note below
CULTURAL COMPETANCY	15	12	9	9					30	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	24	18					66	
EXPERIENCE/REFERENCES	20	12	15	16					43	
<b>TOTALS:</b>	<b>100</b>	71	71	66	0	0	0	0	208	

<b>TOTAL SCORE:</b>	208	<b>TOTAL AVG. SCORE:</b>	<b>69.33</b>
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**CONTRACTOR: Denver Area Youth Service**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	6	8	6					20	See note below
CULTURAL COMPETANCY	15	9	12	9					30	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	18	18	18					54	
EXPERIENCE/REFERENCES	20	12	16	12					40	
<b>TOTALS:</b>	<b>100</b>	60	69	60	0	0	0	0	189	

<b>TOTAL SCORE:</b>	189	<b>TOTAL AVG. SCORE:</b>	<b>63.00</b>
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**CONTRACTOR: Shiloh Home - Home Based, Mental Health, Life Skills & Sexual Abuse**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	6	8	6					20	See note below
CULTURAL COMPETANCY	15	6	9	9					24	
COST/MEDICAID PROVIDER	25	20	20	20					60	
SERVICE QUALITY & AVAIL.	30	18	24	18					60	
EXPERIENCE/REFERENCES	20	8	16	16					40	
<b>TOTALS:</b>	<b>100</b>	58	77	69	0	0	0	0	204	

<b>TOTAL SCORE:</b>	204	<b>TOTAL AVG. SCORE:</b>	<b>68.00</b>
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**CONTRACTOR: Savio - all services**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	8	8	8					24	See note below
CULTURAL COMPETANCY	15	12	12	12					36	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	24	24					72	
EXPERIENCE/REFERENCES	20	12	16	12					40	
<b>TOTALS:</b>	<b>100</b>	71	75	71	0	0	0	0	217	

**TOTAL SCORE:** 217

**TOTAL AVG. SCORE:** 72.33

**NOTE:** Providers were required to submit cost estimates for the various services they applied for. The contracts for the providers in the proposed resolutions reflect the cost for those firms to provide those services. Cost was a factor in the evaluation process where the evaluation team determined the prices were fair and reasonable.





## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> November 1, 2016
<b>SUBJECT:</b> 2016 Core Services
<b>FROM:</b> Todd Leopold, County Manager; Bryan Ostler, Interim Deputy County Manager; Benjamin Dahlman, Finance Director; Kim Roland, Purchasing Manager
<b>AGENCY/DEPARTMENT:</b> Human Services Department, Children & Family Services Division
<b>HEARD AT STUDY SESSION ON –</b> N/A
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves Agreements with Colorado Boys Ranch, Shiloh Home, Inc., Savio, Maple Star Colorado and Life Support Behavioral Institute for Core Services

### **BACKGROUND:**

In 1991, Article 5.5 was enacted to create the Colorado Family Preservation Act. The program is defined in State statutes as Family Preservation, the program is referenced in the Code of Colorado Regulations (12 CCR 2509-4) as Core Services. The Core Services Program was established within the Colorado Department of Human Services in 1994 and is statutorily mandated to provide strength-based resources and support to families when children are at imminent risk of out of home placement and/or are in need of services to maintain a least restrictive setting.

The goals of the Program are:

- Focus on the family strengths by directing intensive services that support and strengthen the family and protect the child(ren);
- Prevent out-of-home placement of the child(ren);
- Return children in placement to their own home; or,
- Unite children with their permanent families
- Provide services that protect the child(ren)

Proposals were opened on April 6, 2016, for Core Services for the 2016/2017 Program Fiscal Year. The solicitation was posted on the Rocky Mountain ePurchasing System and advertised in the Denver Post. Twenty applications were submitted for services in the following categories:

- Home Based Services
- Intensive Family Therapy
- Life Skills
- Day Treatment
- Family Team Meetings
- Sexual Abuse Treatment
- Mental Health Treatment
- Substance Abuse Treatment
- Aftercare Services
- Family Group Decision Making

The proposals were independently evaluated by three Children and Family Services Division employees. The proposals were evaluated on the overall merit of application, agency experience, capacity to provide proposed services to address the needs of the child welfare clients, cost, ability to provide culturally competent services, and availability of services. Ten providers submitted proposals for the type of services described in the table below and five have been selected that requires the Board's approval:

Service Provider	Type of Service	Contract Amount
Colorado Boys Ranch Golden, CO	Home Based	\$156,000 80/20% match
Shiloh Home, Inc. Littleton, CO	Home Based, Mental Health, Life Skills and Sexual Abuse	\$190,700 100 % funded
Maple Star Colorado Denver, CO	Home Based & Mental Health	\$120,000 100% funded
Savio House Denver, CO	Home Based, Sexual Abuse, Mental Health, Life Skills, Intensive Family Therapy & Substance Abuse	\$470,000 80/20% match and 100% funded
Life Support Behavioral Institute Centennial, CO	Substance Abuse	\$133,920 100 % funded
<b>TOTAL</b>		<b>\$1,070,620</b>

We will be awarding and entering into agreements with other providers who also submitted proposals for core services that do not require approval by the Board per Purchasing Policy 1010.

Services will be funded through the 2016/2017 Core Services allocation. The funding source for some services will be 80% funded by the State and 20% by Adams County.

**AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Human Services Department

**ATTACHED DOCUMENTS:**

Resolution  
Evaluation Summary

**FISCAL IMPACT:**

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

<b>Fund:</b> 15
<b>Cost Center:</b> 202015101 700

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount*</b>
Current Budgeted Revenue:	5755		\$945,420
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			<u>\$945,420</u>

.....

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:	8310		\$1,070,620
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<u>\$1,070,620</u>

**New FTEs requested:**             YES             NO

**Future Amendment Needed:**     YES             NO

**Additional Note:**

\*Up to \$945,420 (some services provided by Savio House are 80%/20% and some are 100%)

\*The expenditure amount anticipates that the CORE services allocation currently requested will be approved in the 2017 Annual Budget.

**RESOLUTION APPROVING AN AGREEMENT BETWEEN ADAMS COUNTY AND MAPLE STAR COLORADO, FOR HOME-BASED INTERVENTION AND MENTAL HEALTH SERVICES, FOR THE HUMAN SERVICES DEPARTMENT, CHILDREN AND FAMILY SERVICES DIVISION**

WHEREAS, Maple Star Colorado, submitted a proposal to provide home-based intervention services that can include therapeutic, concrete, collateral and crisis intervention and also mental health services; and,

WHEREAS, Maple Star Colorado agrees to provide home-based and mental health counseling services for clients referred by the Adams County Human Services Department, Children and Family Services Division in the amount not to exceed \$120,000; and,

WHEREAS, the program services are funded 100% through the 2016/2017 Core Services allocation.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Agreement between Adams County and Maple Star Colorado to provide home-based intervention and mental health counseling services for the Human Services Department, Children and Family Services Division, a copy of which is attached hereto, be approved.

BE IT FURTHER RESOLVED that the Chair is hereby authorized to sign the Agreement with the Maple Star Colorado after negotiation and approval as to form is completed by the County Attorney's Office.

**RFP # 2016.414 CORE SERVICES/HOME-BASED/LIFE SKILLS/MENTAL HEALTH/INTENSIVE FAMILY  
THERAPY/SUBSTANCE & SEXUAL ABUSE SERVICES**

**CONTRACTOR: Colorado Boys Ranch - Home Based Services only**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	8	8	8					24	See note below
CULTURAL COMPETANCY	15	9	9	6					24	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	24	24					72	
EXPERIENCE/REFERENCES	20	12	12	16					40	
<b>TOTALS:</b>	<b>100</b>	68	68	69	0	0	0	0	205	

**TOTAL SCORE:** 205

**TOTAL AVG. SCORE:** 68.33

**CONTRACTOR: The Curry Center**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	6	6	6					18	See note below
CULTURAL COMPETANCY	15	8	8	9					25	
COST/MEDICATE PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	18	18	18					54	
EXPERIENCE/REFERENCES	20	16	12	12					40	
<b>TOTALS:</b>	<b>100</b>	63	59	60	0	0	0	0	182	

**TOTAL SCORE:** 182

**TOTAL AVG. SCORE:** 60.67

**CONTRACTOR: Family, Advocacy, Care, Education, Support (FACES)**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	2	6	6					14	See note below
CULTURAL COMPETANCY	15	9	12	9					30	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	18	18					60	
EXPERIENCE/REFERENCES	20	4	12	12					28	
<b>TOTALS:</b>	<b>100</b>	54	63	60	0	0	0	0	177	

**TOTAL SCORE:** 177

**TOTAL AVG. SCORE:** 59.00

**CONTRACTOR: Precept Counseling**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	6	6	4					16	See note below
CULTURAL COMPETANCY	15	9	9	6					24	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	18	18	12					48	
EXPERINECE/REFERENCES	20	8	12	12					32	
<b>TOTALS:</b>	<b>100</b>	56	60	49	0	0	0	0	165	

**TOTAL SCORE:** 165

**TOTAL AVG. SCORE:** 55.00

**CONTRACTOR: Life Support Behavioral Institute - Substance Abuse only**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	8	8	6					22	See note below
CULTURAL COMPETANCY	15	9	9	6					24	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	24	18					66	
EXPERIENCE/REFERENCES	20	12	16	12					40	
<b>TOTALS:</b>	<b>100</b>	68	72	57	0	0	0	0	197	

**TOTAL SCORE:** 197

**TOTAL AVG. SCORE:** 65.67

**CONTRACTOR: Maple Star Colorado - Home Based and Mental Health only**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	4	8	6					18	See note below
CULTURAL COMPETANCY	15	9	12	9					30	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	18	18	18					54	
EXPERIENCE/REFERENCES	20	8	16	16					40	
<b>TOTALS:</b>	<b>100</b>	54	69	64	0	0	0	0	187	

**TOTAL SCORE:** 187

**TOTAL AVG. SCORE:** 62.33

**CONTRACTOR: Excelsior**



CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	8	8	8					24	See note below
CULTURAL COMPETANCY	15	12	9	9					30	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	24	18					66	
EXPERIENCE/REFERENCES	20	12	15	16					43	
<b>TOTALS:</b>	<b>100</b>	71	71	66	0	0	0	0	208	

<b>TOTAL SCORE:</b>	208	<b>TOTAL AVG. SCORE:</b>	<b>69.33</b>
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**CONTRACTOR: Denver Area Youth Service**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	6	8	6					20	See note below
CULTURAL COMPETANCY	15	9	12	9					30	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	18	18	18					54	
EXPERIENCE/REFERENCES	20	12	16	12					40	
<b>TOTALS:</b>	<b>100</b>	60	69	60	0	0	0	0	189	

<b>TOTAL SCORE:</b>	189	<b>TOTAL AVG. SCORE:</b>	<b>63.00</b>
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**CONTRACTOR: Shiloh Home - Home Based, Mental Health, Life Skills & Sexual Abuse**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	6	8	6					20	See note below
CULTURAL COMPETANCY	15	6	9	9					24	
COST/MEDICAID PROVIDER	25	20	20	20					60	
SERVICE QUALITY & AVAIL.	30	18	24	18					60	
EXPERIENCE/REFERENCES	20	8	16	16					40	
<b>TOTALS:</b>	<b>100</b>	58	77	69	0	0	0	0	204	

<b>TOTAL SCORE:</b>	204	<b>TOTAL AVG. SCORE:</b>	<b>68.00</b>
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**CONTRACTOR: Savio - all services**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	8	8	8					24	See note below
CULTURAL COMPETANCY	15	12	12	12					36	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	24	24					72	
EXPERIENCE/REFERENCES	20	12	16	12					40	
<b>TOTALS:</b>	<b>100</b>	71	75	71	0	0	0	0	217	

**TOTAL SCORE:** 217

**TOTAL AVG. SCORE:** 72.33

**NOTE:** Providers were required to submit cost estimates for the various services they applied for. The contracts for the providers in the proposed resolutions reflect the cost for those firms to provide those services. Cost was a factor in the evaluation process where the evaluation team determined the prices were fair and reasonable.



## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> November 1, 2016
<b>SUBJECT:</b> 2016 Core Services
<b>FROM:</b> Todd Leopold, County Manager; Bryan Ostler, Interim Deputy County Manager; Benjamin Dahlman, Finance Director; Kim Roland, Purchasing Manager
<b>AGENCY/DEPARTMENT:</b> Human Services Department, Division of Children & Family Services
<b>HEARD AT STUDY SESSION ON – N/A</b>
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves Agreements with Colorado Boys Ranch, Shiloh Home, Inc., Savio, Maple Star Colorado and Life Support Behavioral Institute for Core Services

### **BACKGROUND:**

In 1991, Article 5.5 was enacted to create the Colorado Family Preservation Act. The program is defined in State statutes as Family Preservation, the program is referenced in the Code of Colorado Regulations (12 CCR 2509-4) as Core Services. The Core Services Program was established within the Colorado Department of Human Services in 1994 and is statutorily mandated to provide strength-based resources and support to families when children are at imminent risk of out of home placement and/or are in need of services to maintain a least restrictive setting.

The goals of the Program are:

- Focus on the family strengths by directing intensive services that support and strengthen the family and protect the child(ren);
- Prevent out-of-home placement of the child(ren);
- Return children in placement to their own home; or,
- Unite children with their permanent families
- Provide services that protect the child(ren)

Proposals were opened on April 6, 2016, for Core Services for the 2016/2017 Program Fiscal Year. The solicitation was posted on the Rocky Mountain ePurchasing System and advertised in the Denver Post. Twenty applications were submitted for services in the following categories:

- Home Based Services
- Intensive Family Therapy
- Life Skills
- Day Treatment
- Family Team Meetings
- Sexual Abuse Treatment
- Mental Health Treatment
- Substance Abuse Treatment
- Aftercare Services
- Family Group Decision Making

The proposals were independently evaluated by three Children and Family Division employees. The proposals were evaluated on the overall merit of application, agency experience, capacity to provide proposed services to address the needs of the child welfare clients, cost, ability to provide culturally competent services, and availability of services. Ten providers submitted proposals for the type of services described in the table below and five have been selected that requires the Board's approval:

Service Provider	Type of Service	Contract Amount
Colorado Boys Ranch Golden, CO	Home Based	\$156,000 80/20% match
Shiloh Home, Inc. Littleton, CO	Home Based, Mental Health, Life Skills and Sexual Abuse	\$190,700 100 % funded
Maple Star Colorado Denver, CO	Home Based & Mental Health	\$120,000 100% funded
Savio House Denver, CO	Home Based, Sexual Abuse, Mental Health, Life Skills, Intensive Family Therapy & Substance Abuse	\$470,000 80/20% match and 100% funded
Life Support Behavioral Institute Centennial, CO	Substance Abuse	\$133,920 100 % funded
TOTAL		\$1,070,620

We will be awarding and entering into agreements with other providers who also submitted proposals for core services that do not require approval by the Board per Purchasing Policy 1010.

Services will be funded through the 2016/2017 Core Services allocation. The funding source for some services will be 80% funded by the State and 20% by Adams County.

**AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Human Services Department

**ATTACHED DOCUMENTS:**

Resolution  
Evaluation score form

**FISCAL IMPACT:**

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

<b>Fund:</b> 15
<b>Cost Center:</b> Various

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount*</b>
Current Budgeted Revenue:	5755		\$945,420
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			<u>\$945,420</u>

.....

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount^</b>
Current Budgeted Operating Expenditure:	8310		\$1,070,620
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<u>\$1,070,620</u>

**New FTEs requested:**             YES             NO

**Future Amendment Needed:**     YES             NO

**Additional Note:**

\*Up to \$945,420 (some services provided by Savio House are 80%/20% and some are 100%)

\*The expenditure amount anticipates that the CORE services allocation currently requested will be approved in the 2017 Annual Budget

**RESOLUTION APPROVING AN AGREEMENT BETWEEN ADAMS COUNTY AND SAVIO FOR HOME-BASED INTERVENTION, LIFE SKILLS, INTENSIVE FAMILY THERAPY, SEXUAL ABUSE AND SUBSTANCE ABUSE COUNSELING SERVICES, FOR THE HUMAN SERVICES DEPARTMENT, CHILDREN AND FAMILY SERVICES DIVISION**

WHEREAS, Savio submitted a proposal to provide home-based intervention services that can include therapeutic, concrete, collateral and crisis intervention and also intensive family therapy, life skills, sexual abuse and substance abuse counseling services; and,

WHEREAS, Savio agrees to provide home-based intervention, life skills, intensive family therapy, sexual abuse and substance abuse counseling services for clients referred by the Adams County Human Services Department, Children and Family Services Division in the amount not to exceed \$470,000; and,

WHEREAS, the program services are 80% funded by the State and 20% funded by Adams County or 100% State funded depending on the service provided through the 2016/2017 Core Services allocation.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Agreement between Adams County and Savio to provide home-based intervention, life skills, intensive family therapy, sexual abuse and substance abuse counseling services for the Human Services Department, Children and Family Services Division, a copy of which is attached hereto, be approved.

BE IT FURTHER RESOLVED that the Chair is hereby authorized to sign the Agreement with the Savio after negotiation and approval as to form is completed by the County Attorney's Office.



**RFP # 2016.414 CORE SERVICES/HOME-BASED/LIFE SKILLS/MENTAL HEALTH/INTENSIVE FAMILY  
THERAPY/SUBSTANCE & SEXUAL ABUSE SERVICES**

**CONTRACTOR: Colorado Boys Ranch - Home Based Services only**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	8	8	8					24	See note below
CULTURAL COMPETANCY	15	9	9	6					24	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	24	24					72	
EXPERIENCE/REFERENCES	20	12	12	16					40	
<b>TOTALS:</b>	<b>100</b>	68	68	69	0	0	0	0	205	

**TOTAL SCORE:** 205

**TOTAL AVG. SCORE:** 68.33

**CONTRACTOR: The Curry Center**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	6	6	6					18	See note below
CULTURAL COMPETANCY	15	8	8	9					25	
COST/MEDICATE PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	18	18	18					54	
EXPERIENCE/REFERENCES	20	16	12	12					40	
<b>TOTALS:</b>	<b>100</b>	63	59	60	0	0	0	0	182	

**TOTAL SCORE:** 182

**TOTAL AVG. SCORE:** 60.67

**CONTRACTOR: Family, Advocacy, Care, Education, Support (FACES)**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	2	6	6					14	See note below
CULTURAL COMPETANCY	15	9	12	9					30	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	18	18					60	
EXPERIENCE/REFERENCES	20	4	12	12					28	
<b>TOTALS:</b>	<b>100</b>	54	63	60	0	0	0	0	177	

**TOTAL SCORE:** 177

**TOTAL AVG. SCORE:** 59.00

**CONTRACTOR: Precept Counseling**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	6	6	4					16	See note below
CULTURAL COMPETANCY	15	9	9	6					24	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	18	18	12					48	
EXPERINECE/REFERENCES	20	8	12	12					32	
<b>TOTALS:</b>	<b>100</b>	56	60	49	0	0	0	0	165	

**TOTAL SCORE:** 165

**TOTAL AVG. SCORE:** 55.00

**CONTRACTOR: Life Support Behavioral Institute - Substance Abuse only**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	8	8	6					22	See note below
CULTURAL COMPETANCY	15	9	9	6					24	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	24	18					66	
EXPERIENCE/REFERENCES	20	12	16	12					40	
<b>TOTALS:</b>	<b>100</b>	68	72	57	0	0	0	0	197	

**TOTAL SCORE:** 197

**TOTAL AVG. SCORE:** 65.67

**CONTRACTOR: Maple Star Colorado - Home Based and Mental Health only**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	4	8	6					18	See note below
CULTURAL COMPETANCY	15	9	12	9					30	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	18	18	18					54	
EXPERIENCE/REFERENCES	20	8	16	16					40	
<b>TOTALS:</b>	<b>100</b>	54	69	64	0	0	0	0	187	

**TOTAL SCORE:** 187

**TOTAL AVG. SCORE:** 62.33

**CONTRACTOR: Excelsior**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	8	8	8					24	See note below
CULTURAL COMPETANCY	15	12	9	9					30	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	24	18					66	
EXPERIENCE/REFERENCES	20	12	15	16					43	
<b>TOTALS:</b>	<b>100</b>	71	71	66	0	0	0	0	208	

<b>TOTAL SCORE:</b>	208	<b>TOTAL AVG. SCORE:</b>	<b>69.33</b>
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**CONTRACTOR: Denver Area Youth Service**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	6	8	6					20	See note below
CULTURAL COMPETANCY	15	9	12	9					30	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	18	18	18					54	
EXPERIENCE/REFERENCES	20	12	16	12					40	
<b>TOTALS:</b>	<b>100</b>	60	69	60	0	0	0	0	189	

<b>TOTAL SCORE:</b>	189	<b>TOTAL AVG. SCORE:</b>	<b>63.00</b>
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**CONTRACTOR: Shiloh Home - Home Based, Mental Health, Life Skills & Sexual Abuse**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	6	8	6					20	See note below
CULTURAL COMPETANCY	15	6	9	9					24	
COST/MEDICAID PROVIDER	25	20	20	20					60	
SERVICE QUALITY & AVAIL.	30	18	24	18					60	
EXPERIENCE/REFERENCES	20	8	16	16					40	
<b>TOTALS:</b>	<b>100</b>	58	77	69	0	0	0	0	204	

<b>TOTAL SCORE:</b>	204	<b>TOTAL AVG. SCORE:</b>	<b>68.00</b>
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**CONTRACTOR: Savio - all services**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	8	8	8					24	See note below
CULTURAL COMPETANCY	15	12	12	12					36	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	24	24					72	
EXPERIENCE/REFERENCES	20	12	16	12					40	
<b>TOTALS:</b>	<b>100</b>	71	75	71	0	0	0	0	217	

**TOTAL SCORE:** 217

**TOTAL AVG. SCORE:** 72.33

**NOTE:** Providers were required to submit cost estimates for the various services they applied for. The contracts for the providers in the proposed resolutions reflect the cost for those firms to provide those services. Cost was a factor in the evaluation process where the evaluation team determined the prices were fair and reasonable.



## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> November 1, 2016
<b>SUBJECT:</b> 2016 Core Services
<b>FROM:</b> Todd Leopold, County Manager; Bryan Ostler, Interim Deputy County Manager; Benjamin Dahlman, Finance Director; Kim Roland, Purchasing Manager
<b>AGENCY/DEPARTMENT:</b> Human Services Department, Division of Children & Family Services
<b>HEARD AT STUDY SESSION ON – N/A</b>
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves Agreements with Colorado Boys Ranch, Shiloh Home, Inc., Savio, Maple Star Colorado and Life Support Behavioral Institute for Core Services

### **BACKGROUND:**

In 1991, Article 5.5 was enacted to create the Colorado Family Preservation Act. The program is defined in State statutes as Family Preservation, the program is referenced in the Code of Colorado Regulations (12 CCR 2509-4) as Core Services. The Core Services Program was established within the Colorado Department of Human Services in 1994 and is statutorily mandated to provide strength-based resources and support to families when children are at imminent risk of out of home placement and/or are in need of services to maintain a least restrictive setting.

The goals of the Program are:

- Focus on the family strengths by directing intensive services that support and strengthen the family and protect the child(ren);
- Prevent out-of-home placement of the child(ren);
- Return children in placement to their own home; or,
- Unite children with their permanent families
- Provide services that protect the child(ren)

Proposals were opened on April 6, 2016, for Core Services for the 2016/2017 Program Fiscal Year. The solicitation was posted on the Rocky Mountain ePurchasing System and advertised in the Denver Post. Twenty applications were submitted for services in the following categories:

- Home Based Services
- Intensive Family Therapy
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- Family Group Decision Making

The proposals were independently evaluated by three Children and Family Division employees. The proposals were evaluated on the overall merit of application, agency experience, capacity to provide proposed services to address the needs of the child welfare clients, cost, ability to provide culturally competent services, and availability of services. Ten providers submitted proposals for the type of services described in the table below and five have been selected that requires the Board's approval:

Service Provider	Type of Service	Contract Amount
Colorado Boys Ranch Golden, CO	Home Based	\$156,000 80/20% match
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TOTAL		\$1,070,620

We will be awarding and entering into agreements with other providers who also submitted proposals for core services that do not require approval by the Board per Purchasing Policy 1010.

Services will be funded through the 2016/2017 Core Services allocation. The funding source for some services will be 80% funded by the State and 20% by Adams County.

**AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Human Services Department

**ATTACHED DOCUMENTS:**

Resolution  
Evaluation score form

**FISCAL IMPACT:**

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

<b>Fund:</b> 15
<b>Cost Center:</b> Various

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount*</b>
Current Budgeted Revenue:	5755		\$945,420
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			<u>\$945,420</u>

.....

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount^</b>
Current Budgeted Operating Expenditure:	8310		\$1,070,620
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<u>\$1,070,620</u>

**New FTEs requested:**             YES             NO

**Future Amendment Needed:**     YES             NO

**Additional Note:**

\*Up to \$945,420 (some services provided by Savio House are 80%/20% and some are 100%)

\*The expenditure amount anticipates that the CORE services allocation currently requested will be approved in the 2017 Annual Budget



**RESOLUTION APPROVING AN AGREEMENT BETWEEN ADAMS COUNTY AND THE LIFE SUPPORT BEHAVIORAL INSTITUTE FOR SUBSTANCE ABUSE COUNSELING SERVICES, FOR THE HUMAN SERVICES DEPARTMENT, CHILDREN AND FAMILY SERVICES DIVISION**

WHEREAS, Life Support Behavioral Institute submitted a proposal to provide substance abuse counseling services; and,

WHEREAS, Life Support Behavioral Institute agrees to provide substance abuse counseling services for clients referred by the Adams County Human Services Department, Children and Family Services Division in the amount not to exceed \$133,920; and,

WHEREAS, the program services are funded 100% through the 2016/2017 Core Services allocation.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Agreement between Adams County and Life Support Behavioral Institute to provide substance abuse counseling services for the Human Services Department, Children and Family Services Division, a copy of which is attached hereto, be approved.

BE IT FURTHER RESOLVED that the Chair is hereby authorized to sign the Agreement with Life Support Behavioral Institute after negotiation and approval as to form is completed by the County Attorney's Office.

**RFP # 2016.414 CORE SERVICES/HOME-BASED/LIFE SKILLS/MENTAL HEALTH/INTENSIVE FAMILY  
THERAPY/SUBSTANCE & SEXUAL ABUSE SERVICES**

**CONTRACTOR: Colorado Boys Ranch - Home Based Services only**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	8	8	8					24	See note below
CULTURAL COMPETANCY	15	9	9	6					24	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	24	24					72	
EXPERIENCE/REFERENCES	20	12	12	16					40	
<b>TOTALS:</b>	<b>100</b>	68	68	69	0	0	0	0	205	

**TOTAL SCORE:** 205

**TOTAL AVG. SCORE:** 68.33

**CONTRACTOR: The Curry Center**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	6	6	6					18	See note below
CULTURAL COMPETANCY	15	8	8	9					25	
COST/MEDICATE PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	18	18	18					54	
EXPERIENCE/REFERENCES	20	16	12	12					40	
<b>TOTALS:</b>	<b>100</b>	63	59	60	0	0	0	0	182	

**TOTAL SCORE:** 182

**TOTAL AVG. SCORE:** 60.67

**CONTRACTOR: Family, Advocacy, Care, Education, Support (FACES)**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	2	6	6					14	See note below
CULTURAL COMPETANCY	15	9	12	9					30	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	18	18					60	
EXPERIENCE/REFERENCES	20	4	12	12					28	
<b>TOTALS:</b>	<b>100</b>	54	63	60	0	0	0	0	177	

**TOTAL SCORE:** 177

**TOTAL AVG. SCORE:** 59.00

**CONTRACTOR: Precept Counseling**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	6	6	4					16	See note below
CULTURAL COMPETANCY	15	9	9	6					24	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	18	18	12					48	
EXPERINECE/REFERENCES	20	8	12	12					32	
<b>TOTALS:</b>	<b>100</b>	56	60	49	0	0	0	0	165	

**TOTAL SCORE:** 165

**TOTAL AVG. SCORE:** 55.00

**CONTRACTOR: Life Support Behavioral Institute - Substance Abuse only**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	8	8	6					22	See note below
CULTURAL COMPETANCY	15	9	9	6					24	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	24	18					66	
EXPERIENCE/REFERENCES	20	12	16	12					40	
<b>TOTALS:</b>	<b>100</b>	68	72	57	0	0	0	0	197	

**TOTAL SCORE:** 197

**TOTAL AVG. SCORE:** 65.67

**CONTRACTOR: Maple Star Colorado - Home Based and Mental Health only**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	4	8	6					18	See note below
CULTURAL COMPETANCY	15	9	12	9					30	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	18	18	18					54	
EXPERIENCE/REFERENCES	20	8	16	16					40	
<b>TOTALS:</b>	<b>100</b>	54	69	64	0	0	0	0	187	

**TOTAL SCORE:** 187

**TOTAL AVG. SCORE:** 62.33

**CONTRACTOR: Excelsior**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	8	8	8					24	See note below
CULTURAL COMPETANCY	15	12	9	9					30	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	24	18					66	
EXPERIENCE/REFERENCES	20	12	15	16					43	
<b>TOTALS:</b>	<b>100</b>	71	71	66	0	0	0	0	208	

<b>TOTAL SCORE:</b>	208	<b>TOTAL AVG. SCORE:</b>	<b>69.33</b>
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**CONTRACTOR: Denver Area Youth Service**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	6	8	6					20	See note below
CULTURAL COMPETANCY	15	9	12	9					30	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	18	18	18					54	
EXPERIENCE/REFERENCES	20	12	16	12					40	
<b>TOTALS:</b>	<b>100</b>	60	69	60	0	0	0	0	189	

<b>TOTAL SCORE:</b>	189	<b>TOTAL AVG. SCORE:</b>	<b>63.00</b>
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**CONTRACTOR: Shiloh Home - Home Based, Mental Health, Life Skills & Sexual Abuse**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	6	8	6					20	See note below
CULTURAL COMPETANCY	15	6	9	9					24	
COST/MEDICAID PROVIDER	25	20	20	20					60	
SERVICE QUALITY & AVAIL.	30	18	24	18					60	
EXPERIENCE/REFERENCES	20	8	16	16					40	
<b>TOTALS:</b>	<b>100</b>	58	77	69	0	0	0	0	204	

<b>TOTAL SCORE:</b>	204	<b>TOTAL AVG. SCORE:</b>	<b>68.00</b>
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**CONTRACTOR: Savio - all services**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	8	8	8					24	See note below
CULTURAL COMPETANCY	15	12	12	12					36	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	24	24					72	
EXPERIENCE/REFERENCES	20	12	16	12					40	
<b>TOTALS:</b>	<b>100</b>	71	75	71	0	0	0	0	217	

**TOTAL SCORE:** 217

**TOTAL AVG. SCORE:** 72.33

**NOTE:** Providers were required to submit cost estimates for the various services they applied for. The contracts for the providers in the proposed resolutions reflect the cost for those firms to provide those services. Cost was a factor in the evaluation process where the evaluation team determined the prices were fair and reasonable.



## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> November 1, 2016
<b>SUBJECT:</b> 2016 Core Services
<b>FROM:</b> Todd Leopold, County Manager; Bryan Ostler, Interim Deputy County Manager; Benjamin Dahlman, Finance Director; Kim Roland, Purchasing Manager
<b>AGENCY/DEPARTMENT:</b> Human Services Department, Division of Children & Family Services
<b>HEARD AT STUDY SESSION ON – N/A</b>
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves Agreements with Colorado Boys Ranch, Shiloh Home, Inc., Savio, Maple Star Colorado and Life Support Behavioral Institute for Core Services

### **BACKGROUND:**

In 1991, Article 5.5 was enacted to create the Colorado Family Preservation Act. The program is defined in State statutes as Family Preservation, the program is referenced in the Code of Colorado Regulations (12 CCR 2509-4) as Core Services. The Core Services Program was established within the Colorado Department of Human Services in 1994 and is statutorily mandated to provide strength-based resources and support to families when children are at imminent risk of out of home placement and/or are in need of services to maintain a least restrictive setting.

The goals of the Program are:

- Focus on the family strengths by directing intensive services that support and strengthen the family and protect the child(ren);
- Prevent out-of-home placement of the child(ren);
- Return children in placement to their own home; or,
- Unite children with their permanent families
- Provide services that protect the child(ren)

Proposals were opened on April 6, 2016, for Core Services for the 2016/2017 Program Fiscal Year. The solicitation was posted on the Rocky Mountain ePurchasing System and advertised in the Denver Post. Twenty applications were submitted for services in the following categories:

- Home Based Services
- Intensive Family Therapy
- Life Skills
- Day Treatment
- Family Team Meetings
- Sexual Abuse Treatment
- Mental Health Treatment
- Substance Abuse Treatment
- Aftercare Services
- Family Group Decision Making

The proposals were independently evaluated by three Children and Family Division employees. The proposals were evaluated on the overall merit of application, agency experience, capacity to provide proposed services to address the needs of the child welfare clients, cost, ability to provide culturally competent services, and availability of services. Ten providers submitted proposals for the type of services described in the table below and five have been selected that requires the Board's approval:

Service Provider	Type of Service	Contract Amount
Colorado Boys Ranch Golden, CO	Home Based	\$156,000 80/20% match
Shiloh Home, Inc. Littleton, CO	Home Based, Mental Health, Life Skills and Sexual Abuse	\$190,700 100 % funded
Maple Star Colorado Denver, CO	Home Based & Mental Health	\$120,000 100% funded
Savio House Denver, CO	Home Based, Sexual Abuse, Mental Health, Life Skills, Intensive Family Therapy & Substance Abuse	\$470,000 80/20% match and 100% funded
Life Support Behavioral Institute Centennial, CO	Substance Abuse	\$133,920 100 % funded
TOTAL		\$1,070,620

We will be awarding and entering into agreements with other providers who also submitted proposals for core services that do not require approval by the Board per Purchasing Policy 1010.

Services will be funded through the 2016/2017 Core Services allocation. The funding source for some services will be 80% funded by the State and 20% by Adams County.

**AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Human Services Department

**ATTACHED DOCUMENTS:**

Resolution  
Evaluation score form



**FISCAL IMPACT:**

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

<b>Fund:</b> 15
<b>Cost Center:</b> Various

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount*</b>
Current Budgeted Revenue:	5755		\$945,420
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			<u>\$945,420</u>

.....

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount^</b>
Current Budgeted Operating Expenditure:	8310		\$1,070,620
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<u>\$1,070,620</u>

**New FTEs requested:**             YES             NO

**Future Amendment Needed:**     YES             NO

**Additional Note:**

\*Up to \$945,420 (some services provided by Savio House are 80%/20% and some are 100%)

\*The expenditure amount anticipates that the CORE services allocation currently requested will be approved in the 2017 Annual Budget

**RESOLUTION APPROVING AN AGREEMENT BETWEEN ADAMS COUNTY AND SHILOH HOME, INC., FOR HOME-BASED INTERVENTION SERVICES, MENTAL HEALTH, LIFE SKILLS AND SEXUAL ABUSE COUNSELING SERVICES FOR THE HUMAN SERVICES DEPARTMENT, CHILDREN AND FAMILY SERVICES DIVISION**

WHEREAS, Shiloh Home, Inc., submitted a proposal to provide home-based intervention services that can include therapeutic, concrete, collateral and crisis intervention, mental health, life skills, and sexual abuse counseling services; and,

WHEREAS, Shiloh Home, Inc., agrees to provide home-based services, mental health, life skills and sexual abuse counseling services for clients referred by the Adams County Human Services Department, Children and Family Services Division in the amount not to exceed \$190,700; and,

WHEREAS, the program services are funded 100% through the 2016/2017 Core Services allocation.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Agreement between Adams County and the Shiloh Home, Inc., to provide home-based intervention services, mental health, life skills and sexual abuse counseling services for the Human Services Department, Children and Family Services Division, a copy of which is attached hereto, be approved.

BE IT FURTHER RESOLVED that the Chair is hereby authorized to sign the Agreement with the Shiloh Home, Inc., after negotiation and approval as to form is completed by the County Attorney's Office.

**RFP # 2016.414 CORE SERVICES/HOME-BASED/LIFE SKILLS/MENTAL HEALTH/INTENSIVE FAMILY  
THERAPY/SUBSTANCE & SEXUAL ABUSE SERVICES**

**CONTRACTOR: Colorado Boys Ranch - Home Based Services only**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	8	8	8					24	See note below
CULTURAL COMPETANCY	15	9	9	6					24	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	24	24					72	
EXPERIENCE/REFERENCES	20	12	12	16					40	
<b>TOTALS:</b>	<b>100</b>	68	68	69	0	0	0	0	205	

**TOTAL SCORE:** 205

**TOTAL AVG. SCORE:** 68.33

**CONTRACTOR: The Curry Center**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	6	6	6					18	See note below
CULTURAL COMPETANCY	15	8	8	9					25	
COST/MEDICATE PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	18	18	18					54	
EXPERIENCE/REFERENCES	20	16	12	12					40	
<b>TOTALS:</b>	<b>100</b>	63	59	60	0	0	0	0	182	

**TOTAL SCORE:** 182

**TOTAL AVG. SCORE:** 60.67

**CONTRACTOR: Family, Advocacy, Care, Education, Support (FACES)**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	2	6	6					14	See note below
CULTURAL COMPETANCY	15	9	12	9					30	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	18	18					60	
EXPERIENCE/REFERENCES	20	4	12	12					28	
<b>TOTALS:</b>	<b>100</b>	54	63	60	0	0	0	0	177	

**TOTAL SCORE:** 177

**TOTAL AVG. SCORE:** 59.00

**CONTRACTOR: Precept Counseling**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	6	6	4					16	See note below
CULTURAL COMPETANCY	15	9	9	6					24	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	18	18	12					48	
EXPERINECE/REFERENCES	20	8	12	12					32	
<b>TOTALS:</b>	<b>100</b>	56	60	49	0	0	0	0	165	

**TOTAL SCORE:** 165

**TOTAL AVG. SCORE:** 55.00

**CONTRACTOR: Life Support Behavioral Institute - Substance Abuse only**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	8	8	6					22	See note below
CULTURAL COMPETANCY	15	9	9	6					24	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	24	18					66	
EXPERIENCE/REFERENCES	20	12	16	12					40	
<b>TOTALS:</b>	<b>100</b>	68	72	57	0	0	0	0	197	

**TOTAL SCORE:** 197

**TOTAL AVG. SCORE:** 65.67

**CONTRACTOR: Maple Star Colorado - Home Based and Mental Health only**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	4	8	6					18	See note below
CULTURAL COMPETANCY	15	9	12	9					30	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	18	18	18					54	
EXPERIENCE/REFERENCES	20	8	16	16					40	
<b>TOTALS:</b>	<b>100</b>	54	69	64	0	0	0	0	187	

**TOTAL SCORE:** 187

**TOTAL AVG. SCORE:** 62.33

**CONTRACTOR: Excelsior**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	8	8	8					24	See note below
CULTURAL COMPETANCY	15	12	9	9					30	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	24	18					66	
EXPERIENCE/REFERENCES	20	12	15	16					43	
<b>TOTALS:</b>	<b>100</b>	71	71	66	0	0	0	0	208	

<b>TOTAL SCORE:</b>	208	<b>TOTAL AVG. SCORE:</b>	<b>69.33</b>
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**CONTRACTOR: Denver Area Youth Service**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	6	8	6					20	See note below
CULTURAL COMPETANCY	15	9	12	9					30	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	18	18	18					54	
EXPERIENCE/REFERENCES	20	12	16	12					40	
<b>TOTALS:</b>	<b>100</b>	60	69	60	0	0	0	0	189	

<b>TOTAL SCORE:</b>	189	<b>TOTAL AVG. SCORE:</b>	<b>63.00</b>
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**CONTRACTOR: Shiloh Home - Home Based, Mental Health, Life Skills & Sexual Abuse**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	6	8	6					20	See note below
CULTURAL COMPETANCY	15	6	9	9					24	
COST/MEDICAID PROVIDER	25	20	20	20					60	
SERVICE QUALITY & AVAIL.	30	18	24	18					60	
EXPERIENCE/REFERENCES	20	8	16	16					40	
<b>TOTALS:</b>	<b>100</b>	58	77	69	0	0	0	0	204	

<b>TOTAL SCORE:</b>	204	<b>TOTAL AVG. SCORE:</b>	<b>68.00</b>
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**CONTRACTOR: Savio - all services**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7	CATEGORY TOTALS	COST
OVERALL APPLICATION	10	8	8	8					24	See note below
CULTURAL COMPETANCY	15	12	12	12					36	
COST/MEDICAID PROVIDER	25	15	15	15					45	
SERVICE QUALITY & AVAIL.	30	24	24	24					72	
EXPERIENCE/REFERENCES	20	12	16	12					40	
<b>TOTALS:</b>	<b>100</b>	71	75	71	0	0	0	0	217	

**TOTAL SCORE:** 217

**TOTAL AVG. SCORE:** 72.33

**NOTE:** Providers were required to submit cost estimates for the various services they applied for. The contracts for the providers in the proposed resolutions reflect the cost for those firms to provide those services. Cost was a factor in the evaluation process where the evaluation team determined the prices were fair and reasonable.